

TONTITOWN, ARKANSAS

LARGE SCALE DEVELOPMENT

for

BURTON WAREHOUSE

GENERAL NOTES:

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RELOCATION AND/OR DAMAGE TO UTILITIES.
2. ALL PROCEDURES, MATERIAL AND WORKMANSHIP SHALL CONFORM TO SPECIFICATIONS OF THE WATER DEPARTMENT.
3. THERE ARE NUMEROUS PUBLIC AND PRIVATE UTILITIES WITHIN AND ADJACENT TO THE LIMITS OF CONSTRUCTION AND AN ATTEMPT HAS BEEN MADE TO INDICATE THEIR PRESENCE ON THE PLAN. PRIOR TO BEGINNING ANY TYPE OF EXCAVATION THE CONTRACTOR SHALL CONTACT THE VARIOUS UTILITY COMPANIES AND MAKE ARRANGEMENTS FOR THE LOCATION OF THE UTILITY ON THE GROUND. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO MAINTAIN THE UTILITY LOCATION MARKINGS UNTIL THEY ARE NO LONGER NECESSARY.
4. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF TONTITOWN WATER & SEWER SPECIFICATIONS.
5. CONTACT ALL UTILITIES PRIOR TO CONSTRUCTION TO INSURE THAT ALL EXISTING UTILITIES ARE LOCATED.
6. RESTORATION AND CLEAN-UP SHALL BE COMPLETE BEFORE ACCEPTANCE OF JOB.
7. SEE DETAILS/SPECIFICATIONS FOR ADDITIONAL INFORMATION.
8. BLASTING WILL NOT BE ALLOWED WITHOUT PRIOR WRITTEN APPROVAL FROM THE FIRE CHIEF.
9. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING BMPs, POSTING SWPPP ON SITE, AND MONITORING/MAINTENANCE OF EROSION CONTROL MEASURES.
10. ANY DAMAGE TO THE EXISTING PUBLIC STREET DUE TO CONSTRUCTION SHALL BE REPAIRED/REPLACED AT THE OWNER/DEVELOPERS EXPENSE.
11. FIRE HYDRANT CONSTRUCTION & TAP TO MAIN SHALL BE IN ACCORDANCE WITH THE CITY OF SPRINGDALE WATER DEPARTMENT.

ADDITIONAL NOTES:

- X THIS SITE DOES NOT CONTAIN MY KNOWN WETLANDS. AN ARMY CORPS OF ENGINEERS DETERMINATION IS NOT CURRENTLY IN PROGRESS AT THIS TIME.
- X THERE ARE NO KNOWN PREVIOUS SANITARY SEWER OVERFLOW PROBLEMS ON-SITE OR IN THE PROXIMITY OF THE SITE.
- X THERE ARE NO KNOWN EXISTING EROSION PROBLEMS ON-SITE OR WITHIN 100' DOWNSTREAM OF THE PROPERTY.
- X THERE ARE NO KNOWN EXISTING ABANDONED WATER WELLS, SUMPS, CESSPOOLS, SPRINGS, WATER IMPOUNDMENTS, OR UNDERGROUND STRUCTURES WITHIN THE PROJECT.
- X THERE ARE NO KNOWN EXISTING PROPOSED GROUND LEASES OR ACCESS AGREEMENTS.
- X THERE ARE NO KNOWN POTENTIALLY DANGEROUS AREAS, SUCH AS AREAS SUBJECT TO FLOODING, SLOPE STABILITY, SETTLEMENT, EXCESSIVE NOISE, OR PREVIOUSLY FILLED AREAS.
- X THIS SITE WILL NOT CONTAIN ANY PROPOSED PUBLIC AREAS.
- X THIS SITE WILL NOT CONTAIN ANY COMMONLY HELD AREAS.

LEGAL DESCRIPTION:

A part of the NW1/4 of the SE1/4 of Section 2, T17N, R31W in Washington County, Arkansas, and being described as follows: Commencing at the NW Corner of said NW1/4, SE1/4, thence S86°16'56"E 665.00 feet, thence S03°28'24"W 381.65 feet to the POINT OF BEGINNING, thence S87°01'12"E 160.01 feet, thence S03°29'36"W 435.76 feet, thence N87°01'12"W 98.99 feet, thence along a non tangent curve to the left 95.49 feet, said curve having a radius of 61.00 feet and chord bearing and distance of N41°39'31"W 86.03 feet, thence N03°29'24"E 374.54 feet to the POINT OF BEGINNING: Containing 1.53 acres more or less subject to easements and right of way of record.

OWNER:
BCRD LLC

CONTACT: 8937 HOBBTOWN RD
RUDY, AR 72952

NOTES:

- 1) ZONING: C-2
- 2) PARCEL NUMBERS: 830-37719-003
- 3) THIS PROPERTY IS NOT AFFECTED BY THE 100 YEAR FLOOD PLAIN AS PER FIRM #05143C0045F DATED MAY 16, 2008.

Certificate of Preliminary Survey Accuracy

I, David L. Jorgensen, hereby certify that this plat correctly represents a boundary survey made by me and all monuments shown hereon actually exist and their location, size, type and material are correctly shown.

Date of Execution: _____

Registered Land Surveyor

State of Arkansas Registration No. 1118

Certificate of Preliminary Engineering Accuracy

Each set of street and drainage plans must be submitted in accordance with applicable state statutes and any plans and specifications required:

I, Jared S. Inman, hereby certify that this plan correctly represents a plan prepared under my direction and engineering requirements of the Tontitown Subdivision Regulations have been complied with.

Date of Execution: _____

Registered Engineer

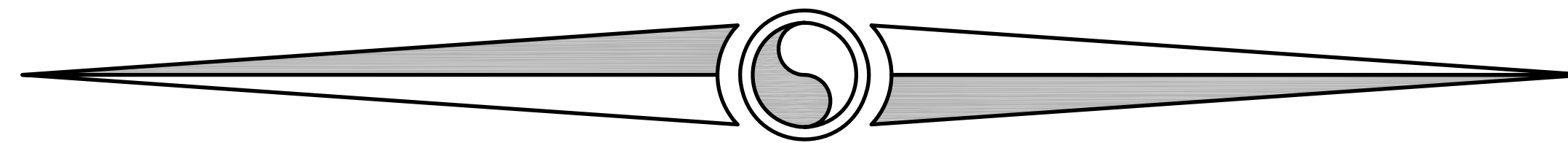
State of Arkansas Registration No. 13842

Certificate of Preliminary Plat Approval

This plat has been given preliminary plat approval only and has not been approved for recording purposes as a public record. This certificate shall expire on _____ (date).

Date of Execution: _____

Chairman, City of Tontitown Planning Commission



FEBRUARY 2017

OWNER / DEVELOPER

BCRD, LLC
8937 HOBBTOWN RD
RUDY, AR 72952

CITY OF TONTITOWN:

235 E. Henri De Tonti Blvd.
Tontitown, AR 72770

Ph: (479) 361-2700
Fax: (479) 421-8774

Building and Inspection

Ph: (479) 263-9215

Planning

Ph: (479) 361-2700

Public Works - Emergency/After Hours

Ph: (479) 263-9213

Public Safety

Ph: (479) 361-2700

Solid Waste

Ph: (479) 361-2700

Water & Sewer

Ph: (479) 361-2700

Streets

Ph: (479) 263-9216

PREPARED BY:



JORGENSEN + ASSOCIATES
Civil Engineering · Surveying
Landscape Architecture Services

124 W Sunbridge Drive, Suite 5
Fayetteville, AR 72703

Office: 479.442.9127
Fax: 479.582.4807
www.jorgensenassoc.com



INDEX OF SHEETS

- C 0.00 COVER SHEET
- C 1.01 LARGE SCALE DEVELOPMENT
- C 1.02 GRADING & EROSION CONTROL PLAN
- C 1.03 PAVING PLAN
- L 1.00 LANDSCAPE PLAN
- C 5.01 DETAILS
- C 5.02 DETAILS

This Large Scale Development has been reviewed for general compliance with the City of Tontitown Zoning and Planning Ordinances. Oversight of any regulations does not relieve the Owner of their responsibility to comply with all regulations.

Terry W. Carpenter, P.E.
Tontitown City Engineer, February 14, 2017

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LEGEND

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- ⊙ SEWER MANHOLE
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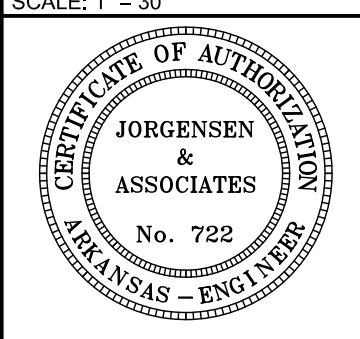
PROJECT DETAILS

PROJECT TITLE:
LARGE SCALE DEVELOPMENT FOR BURTON WAREHOUSE

PROJECT LOCATION:
TONTITOWN, AR

REVISIONS

DATE: 02.07.2017
DRAWN BY: CAZ
PROJECT # 2016139
FILE PATH: Z:\LSD\2016139\DWG\1.LSD.DWG
SHEET SIZE: 22" x 34"
SCALE: 1" = 30'

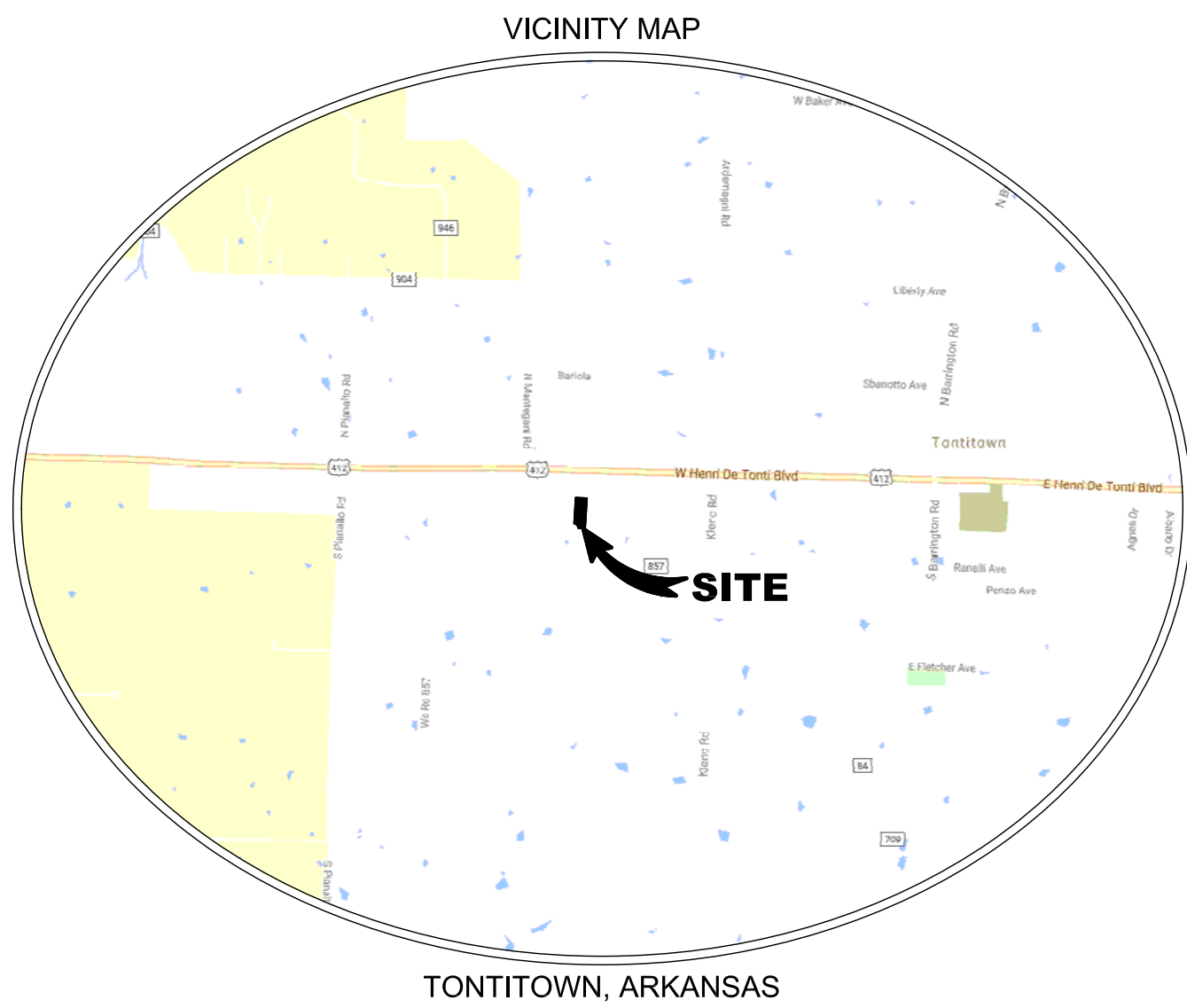


SHEET TITLE

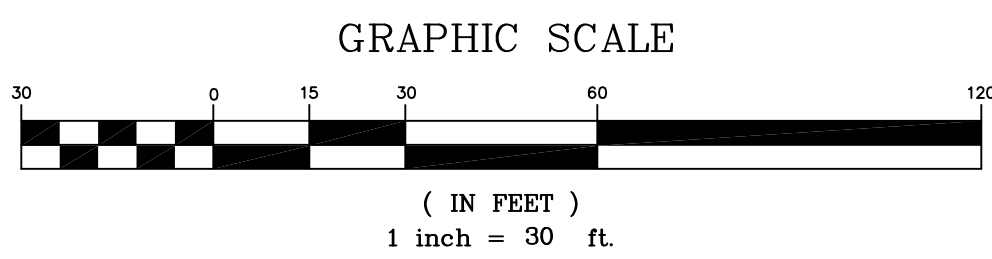
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TONTITOWN, ARKANSAS



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SITE AREA CALCULATIONS:

TOTAL AREA: 1.533 AC / 66,799 S.F.

PREDEVELOPMENT:

-IMPERVIOUS: 0.00 AC / 0 S.F. (0.00%)

-PERVIOUS: 1.533 AC / 66,799 S.F. (100.00%)

POSTDEVELOPMENT:

-IMPERVIOUS: BUILDING: 25,675 S.F. (38.44%)

PARKING/SIDEWALK: 24,995 S.F. (37.42%)

TOTAL IMPERVIOUS: 1,163 AC / 50,670 S.F. (75.85%)

-PERVIOUS: GREENSPACE: 0.370 AC / 16,129 S.F. (24.15%)

C-2 BUILDING SETBACK TABLE

FRONT, WITH PARKING	50'
FRONT, WITHOUT PARKING	20'
SIDE, ADJACENT TO NON-RESIDENTIAL DISTRICT	1'
SIDE, ADJACENT TO RESIDENTIAL DISTRICT	30'
REAR, ADJACENT TO RESIDENTIAL DISTRICT	20'
REAR, ADJACENT TO RESIDENTIAL DISTRICT	30'

PARKING REQUIREMENTS:

REQUIREMENT FOR RETAIL: 1 SPACE / 250 SQ. FT. REQUIRED: 2500 SQ. FT. / 250 = 10 SPACES

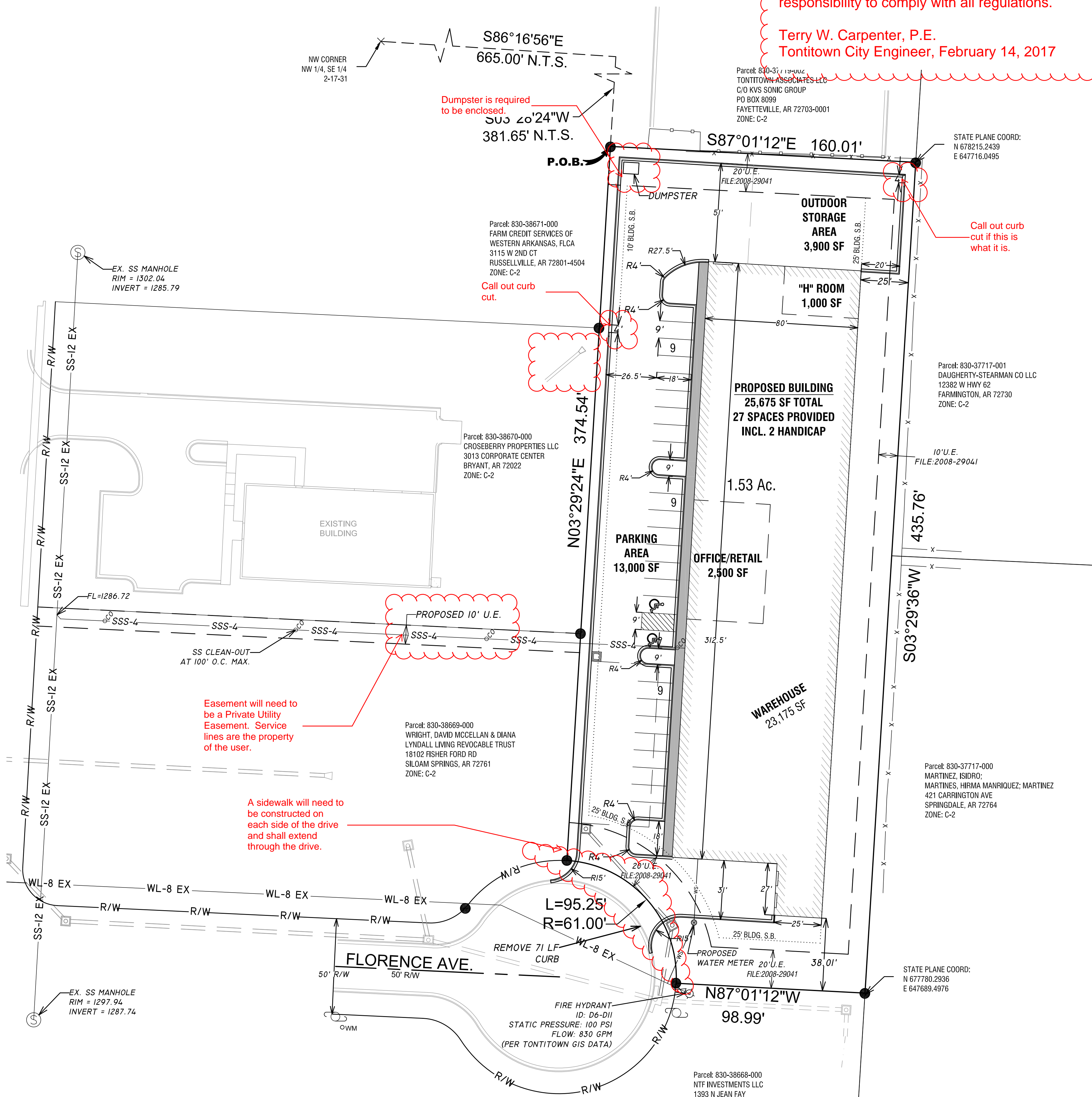
REQUIREMENT FOR WAREHOUSE: 5 SPACES + 1 SPACE PER 2000 SQ. FT. REQUIRED: 5 + 23175 SQ. FT. / 2000 = 17

TOTAL SPACES REQUIRED = 27

TOTAL SPACES PROVIDED = 27

REQUIRED ADA SPACES = 2 SPACES

PROVIDED ADA SPACES = 2 SPACES



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Terry W. Carpenter, P.E.
Tontitown City Engineer, February 14, 2017

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PROJECT DETAILS

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PROJECT LOCATION: TONTITOWN, AR

REVISIONS

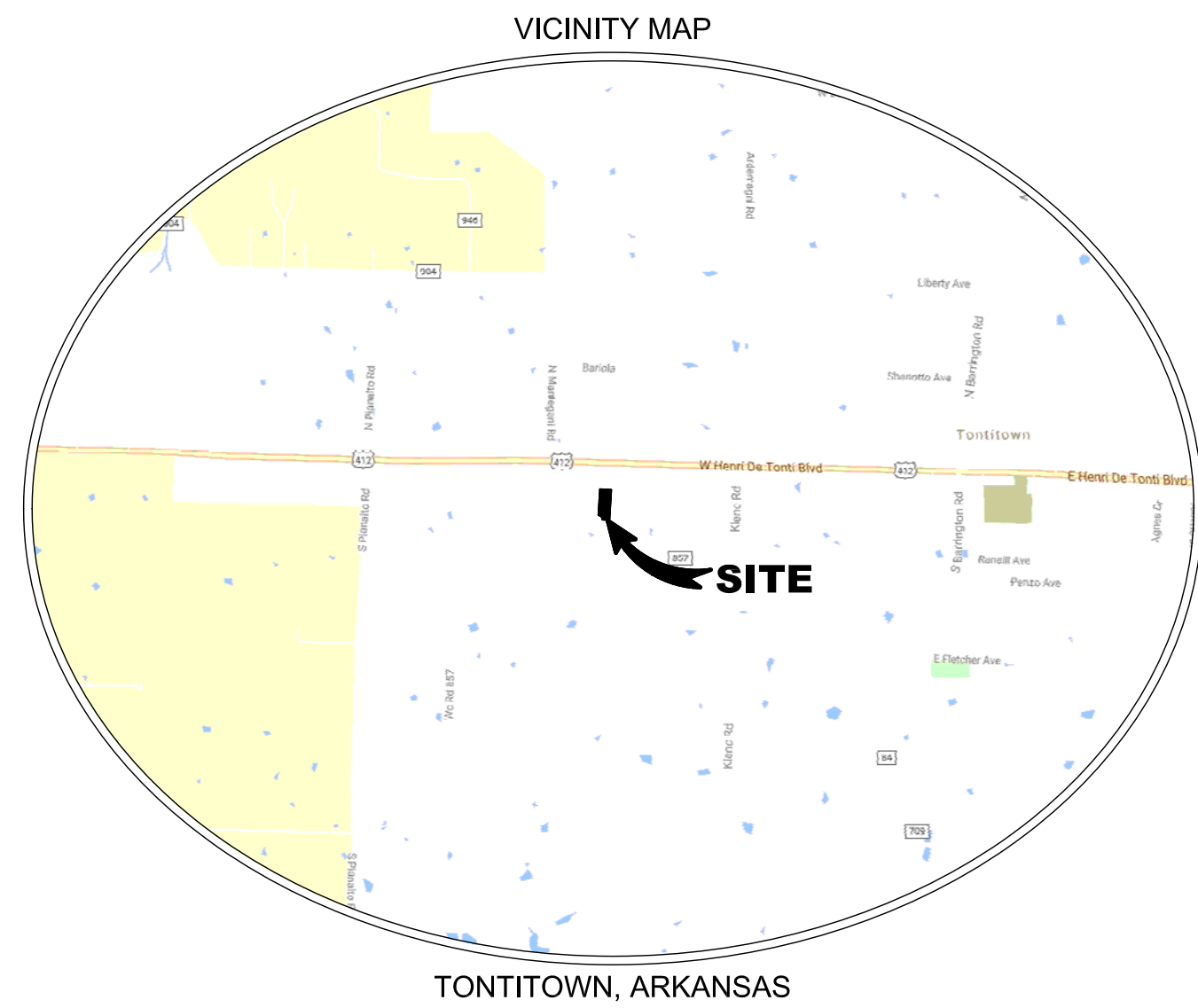
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DRAWN BY: CAZ
PROJECT #: 2016139
FILE PATH: Z:\LSD\2016139\DWG\LS.DWG
SHEET SIZE: 22" x 34"
SCALE: 1" = 30'

CERTIFICATE OF AUTHORIZATION
&
ASSOCIATES
No. 722
ARKANSAS - ENGINEER

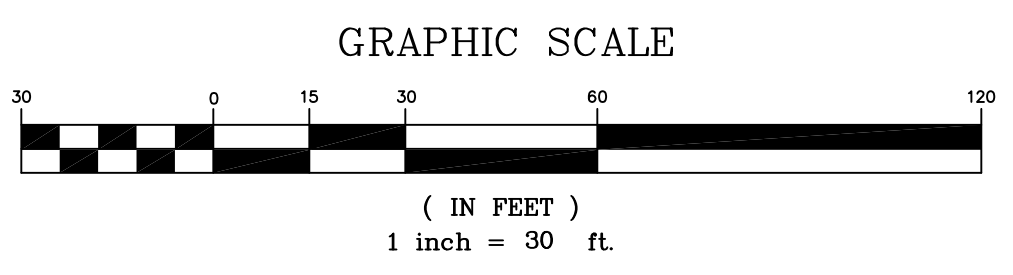
STATE OF ARKANSAS
REGISTERED PROFESSIONAL ENGINEER
No. 13842
TERRY W. CARPENTER

SHEET TITLE
LARGE SCALE DEVELOPMENT

SHEET NUMBER
C 1.01

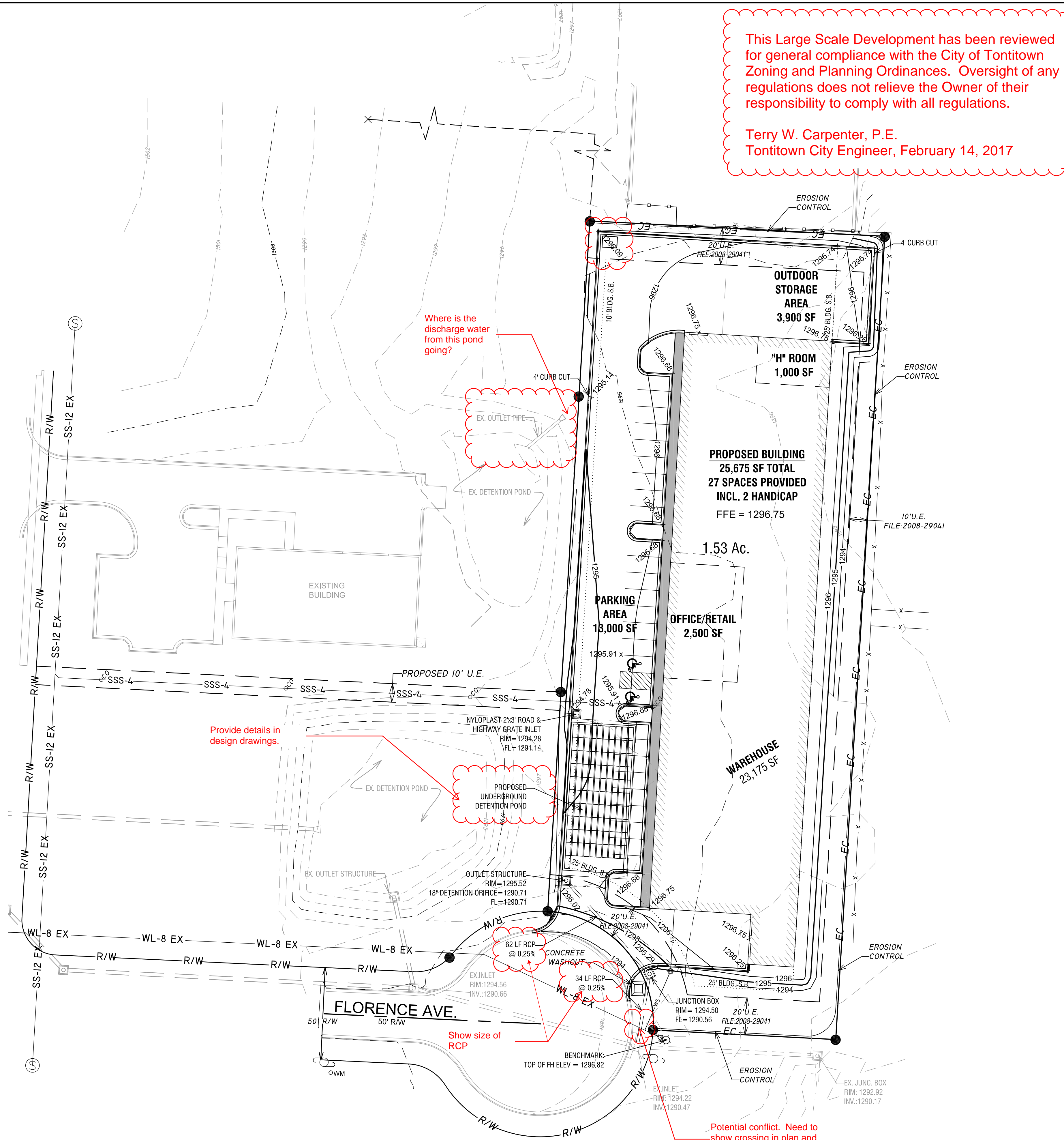


TONTITOWN, ARKANSAS



GRADING NOTES/ OPERATIONS AND MAINTENANCE PLAN:

- 1) ALL GRADES ARE AS INDICATED BY CONTOURS.
- 2) CUTS AND FILLS ARE AS INDICATED BY FINISHED CONTOURS AND SPOT ELEVATIONS. SLOPES SHALL NOT EXCEED 3:1 UNLESS ADDITIONAL SLOPE TREATMENT IS PROPOSED AND APPROVED BY THE PROJECT ENGINEER.
- 3) GRADING WILL BE LIMITED TO THE EXTENTS OF THE PROPOSED CONTOURS.
- 4) IF EXCESSIVE DUST BECOMES A PROBLEM, A PLAN FOR WATERING HEAVILY TRAVELED AREAS WILL BE SUBMITTED TO THE CITY ENGINEER BY THE CONTRACTOR.
- 5) ALL FINISHED SLOPES ARE AS SHOWN BY THE FINISHED CONTOURS.
- 6) ALL EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO PRIMARY GRADING.
- 7) CONTRACTOR SHALL MODIFY EROSION CONTROL MEASURES AS NECESSARY TO ELIMINATE SEDIMENTATION FROM LEAVING THE SITE.
- 8) THERE MAY OR MAY NOT BE EROSION PROBLEMS ON THIS SITE OR THE PROPERTY DOWNSTREAM.
- 9) ALL AREAS WHICH RECEIVE CONCENTRATED RUNOFF SHALL BE STABILIZED WITH STONE CHECK DAMS
- 10) ALL IMPORTED FILL SHALL BE FREE OF ROCKS GREATER THAN 12 INCHES IN DIAMETER AND ANY DETRIMENTAL ORGANIC MATERIAL OR REFUSE DEBRIS.
- 11) FILL SHALL NOT BE PLACED ON EXISTING SLOPES WITH A GRADE STEEPER THAN 15% UNLESS KEVED INTO STEPS IN THE EXISTING GRADE AND THOROUGHLY STABILIZED BY MECHANICAL COMPACTION.
- 12) DEBRIS, MUD, AND SOIL SHALL NOT BE ALLOWED IN PUBLIC STREETS BUT IF ANY DEBRIS, MUD, OR SOIL FROM THE DEVELOPMENT SITE REACHES THE PUBLIC STREET IT SHALL BE IMMEDIATELY REMOVED VIA SWEEPING OR OTHER METHODS OF PHYSICAL REMOVAL. DEBRIS, MUD, OR SOIL IN THE STREET MAY NOT BE WASHED OFF THE STREET OR WASHED INTO STORM DRAINAGE SYSTEMS. STORM DRAINAGE SYSTEMS DOWNSTREAM OF A DEVELOPMENT SITE SHOULD BE PROTECTED FROM DEBRIS, MUD, OR SOIL IN THE EVENT THAT DEBRIS, MUD, OR SOIL REACHES THE DOWNSTREAM DRAINAGE SYSTEM.
- 13) ALL GRADED AND OTHERWISE DISTURBED AREAS SHALL BE STABILIZED WITHIN 15 DAYS IMMEDIATELY AFTER GRADING OR DISTURBANCE HAS CEASED.
- 14) TOP SOIL OR OTHER SOIL THAT IS TO BE STOCKPILED FOR MORE THAN 30 DAYS, SHALL RECEIVE A TEMPORARY COVER OF ANNUAL RYE OR OTHER SUITABLE GRASS SHALL BE PLANTED.
- 15) PERMANENT IMPROVEMENTS SUCH AS STREETS, STORM SEWERS, CURB AND GUTTERS, AND OTHER FEATURES FOR CONTROL OF RUNOFF SHALL BE SCHEDULED COINCIDENTAL TO REMOVING VEGETATIVE COVER FROM THE AREA SO THAT LARGE AREAS ARE NOT LEFT EXPOSED BEYOND THE CAPACITY OF TEMPORARY CONTROL MEASURES.
- 16) PERMANENT EROSION CONTROL. THE DEVELOPER SHALL INCORPORATE PERMANENT EROSION CONTROL FEATURES AT THE EARLIEST PRACTICAL TIME. TEMPORARY EROSION CONTROL MEASURES WILL BE USED TO CORRECT CONDITIONS THAT DEVELOP DURING CONSTRUCTION THAT WERE UNFORESEEN DURING THE DESIGN STAGE THAT ARE NEEDED PRIOR TO INSTALLATION OF PERMANENT EROSION CONTROL FEATURES, OR THAT ARE NEEDED TEMPORARILY TO CONTROL EROSION THAT DEVELOPS DURING NORMAL CONSTRUCTION PROJECTS, BUT ARE NOT ASSOCIATED WITH PERMANENT CONTROL FEATURES ON THE PROJECT.
- 17) CONSTRUCTION EXITS: A STABILIZED ROCK EXIT IS REQUIRED ON CONSTRUCTION SITES. ROCK EXITS MUST BE AT LEAST 20' WIDE BY 50' LONG BY 6" THICK STABILIZED ROCK HAVING A MINIMUM AVERAGE DIAMETER OF 3". IF THERE IS AN EXISTING CURB, LOOSE MATERIAL SUCH AS FILL DIRT OR GRAVEL SHALL NOT BE USED TO RAMP UP TO IT FROM THE STREET. TEMPORARY WOODEN RAMPS IN FRONT OF CURBS ARE ACCEPTABLE.
- 18) FRANCHISE AND PRIVATE UTILITIES; THE PROPERTY OWNER OR MAIN CONTRACTOR ONSITE WILL BE RESPONSIBLE FOR RESTORING ALL EROSION AND SEDIMENT CONTROL SYSTEMS AND PUBLIC INFRASTRUCTURE DAMAGED OR DISTURBED BY UNDERGROUND PRIVATE OR FRANCHISE UTILITY CONSTRUCTION SUCH AS WATER AND SEWER SERVICE LEADS, TELEPHONE, GAS, CABLE, ETC. EROSION AND SEDIMENT CONTROL SYSTEMS MUST BE IMMEDIATELY RESTORED AFTER EACH UTILITY CONSTRUCTION.



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Terry W. Carpenter, P.E.
Tontitown City Engineer, February 14, 2017

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LEGEND

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- FOUND RAILROAD SPIKE
- SET IRON PIN & CAP
- POWER POLE
- △ CENTERLINE MARKER
- SEWER MANHOLE
- FIRE HYDRANT
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PROJECT DETAILS

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LARGE SCALE DEVELOPMENT FOR BURTON WAREHOUSE

PROJECT LOCATION:
TONTITOWN, AR

REVISIONS

NO.	DESCRIPTION

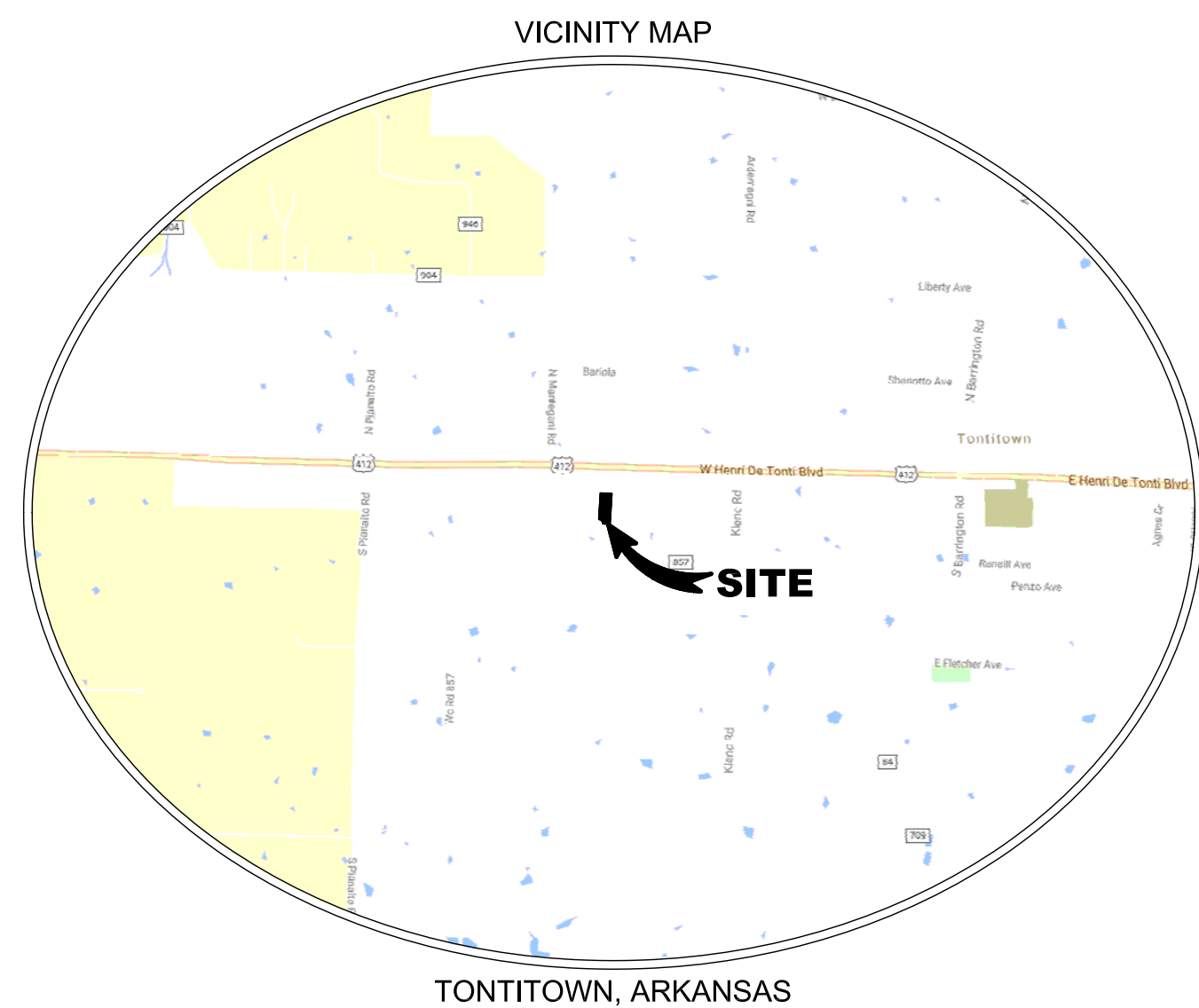
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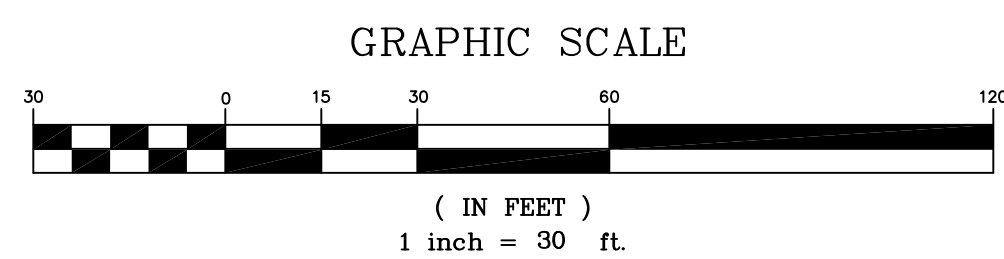
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No. 13842
TERRY W. CARPENTER

SHEET TITLE
GRADING & EROSION CONTROL PLAN

SHEET NUMBER
C 1.02



TONTITOWN, ARKANSAS



PAVEMENT HATCH LEGEND

- LIGHT-DUTY (PARKING AREAS)
- HEAVY DUTY (DELIVERY/DRIVE LANES)
- RIGID PAVEMENT (ENTRANCE & DRIVE-THRU LANES, DUMPSTER PAD AREA)

BELOW ARE TWO ALTERNATIVE PAVEMENT DESIGNS FOR THE PRIVATE PARKING LOT:

RIGID PAVEMENT DESIGN:

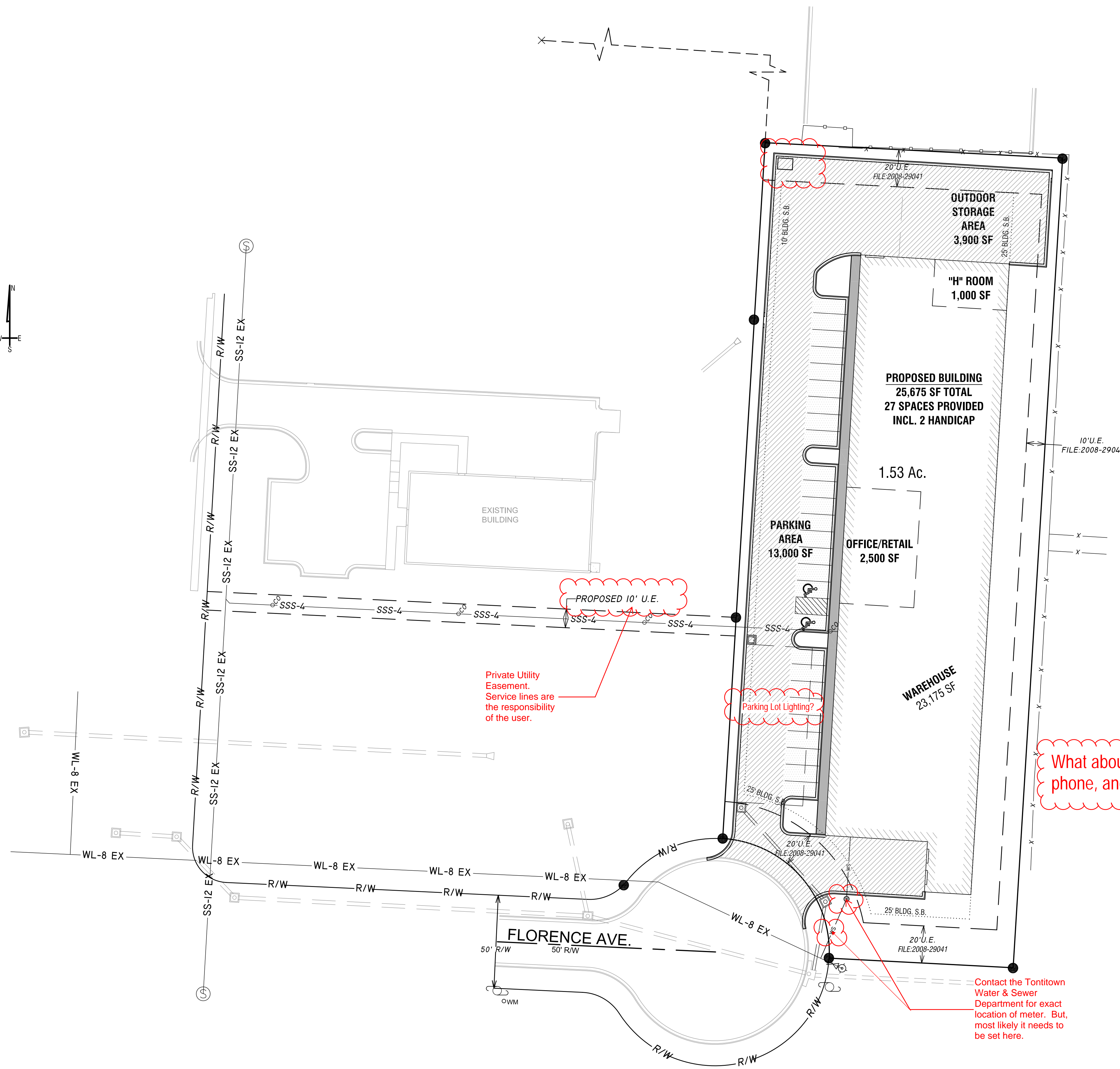
RIGID PAVEMENT SECTION ALTERNATIVE:	CLASS SAE CONCRETE	CLASS 7 BASE	APPLICATION
LIGHT-DUTY specification	5.5" section 802*	4.0" section 303*	PARKING AREAS
HEAVY DUTY specification	6.5" section 802*	4.0" section 303*	DELIVERY/DRIVE LANES
HEAVY DUTY specification	8" section 802*	4.0" section 303*	DUMPSTER PAD AREA/ENTRANCE DRIVES

THE CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4,000 PSI, AND HAVE AIR ENTRAINMENT IN THE RANGE OF 4 TO 8%. STANDARD SPECIFICATION FOR HIGHWAY CONSTRUCTION, ARKANSAS STATE HIGHWAY AND TRANSPORTATION DEPARTMENT, EDITION OF 2003

FLEXIBLE PAVEMENT DESIGN:

FLEXIBLE PAVEMENT SECTION ALTERNATIVE:	ASPHALT COURSE	CLASS 7 BASE	APPLICATION
LIGHT-DUTY specification	2.0" section 407-1" pg 64-22 75 gyrations	7.0" section 303*	PARKING AREAS
HEAVY DUTY specification	3.0" section 407-1" pg 64-22 75 gyrations	6.0" section 303*	DELIVERY/DRIVE LANES

THE CLASS 7 BASE COURSE SHALL BE COMPACTED TO A MINIMUM OF 95% MODIFIED PROCTOR VALUE (ASTM D-1557), STANDARD SPECIFICATION FOR HIGHWAY CONSTRUCTION, ARKANSAS STATE HIGHWAY AND TRANSPORTATION DEPARTMENT, EDITION OF 2003. ALTERNATIVELY, EDITION 1996 MAY BE USED FOR MARSHAL TYPE ASPHALT MIXES.



Private Utility Easement. Service lines are the responsibility of the user.

Parking Lot Lighting?

What about Electric, Gas, phone, and cable?

Contact the Tontitown Water & Sewer Department for exact location of meter. But, most likely it needs to be set here.

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LEGEND

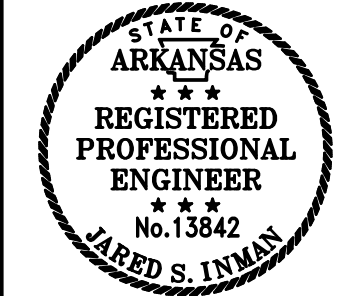
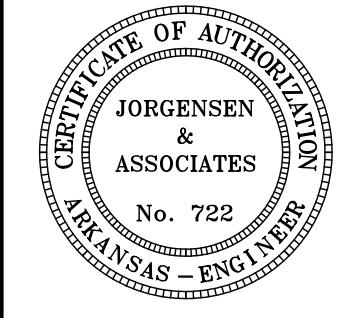
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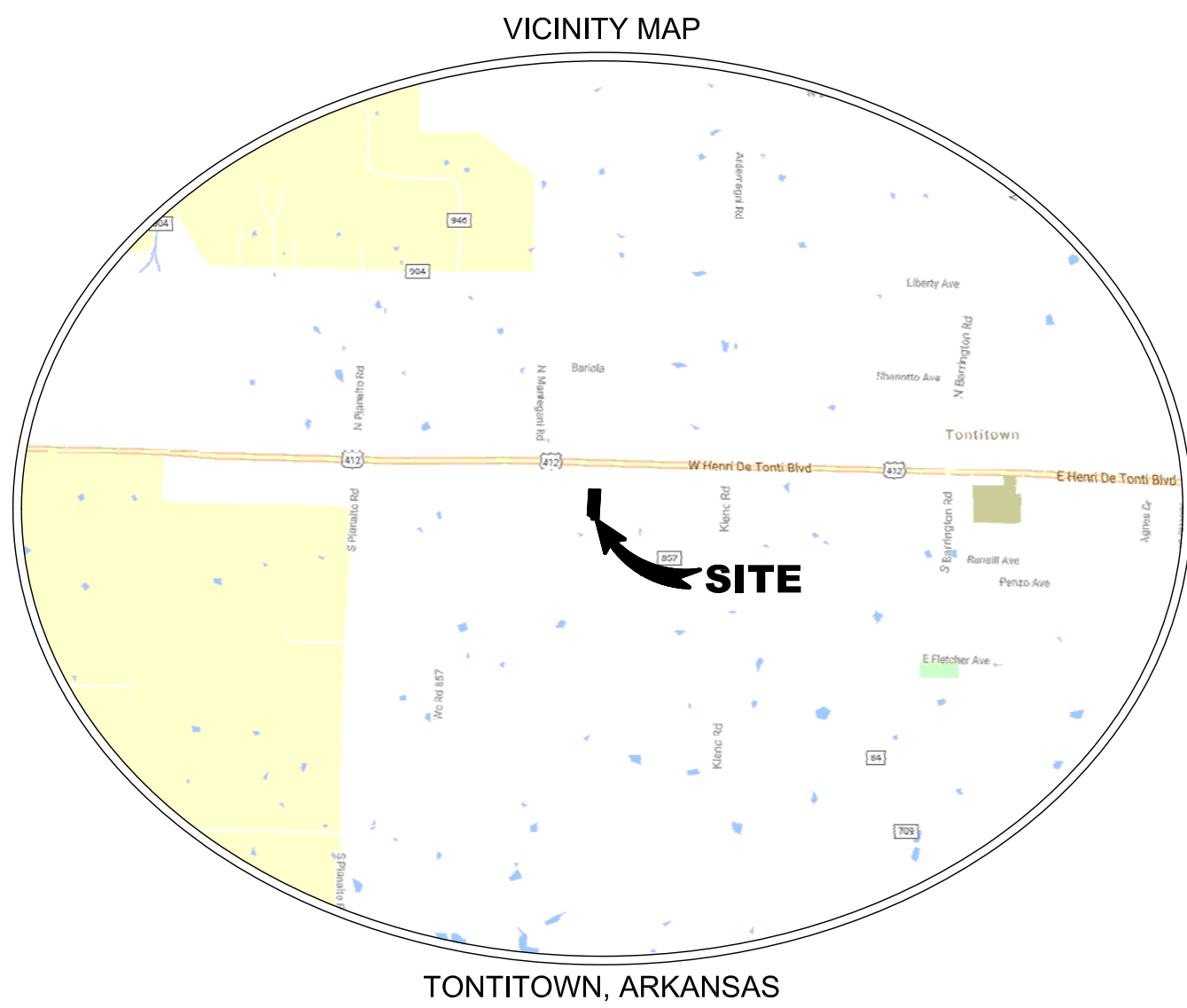
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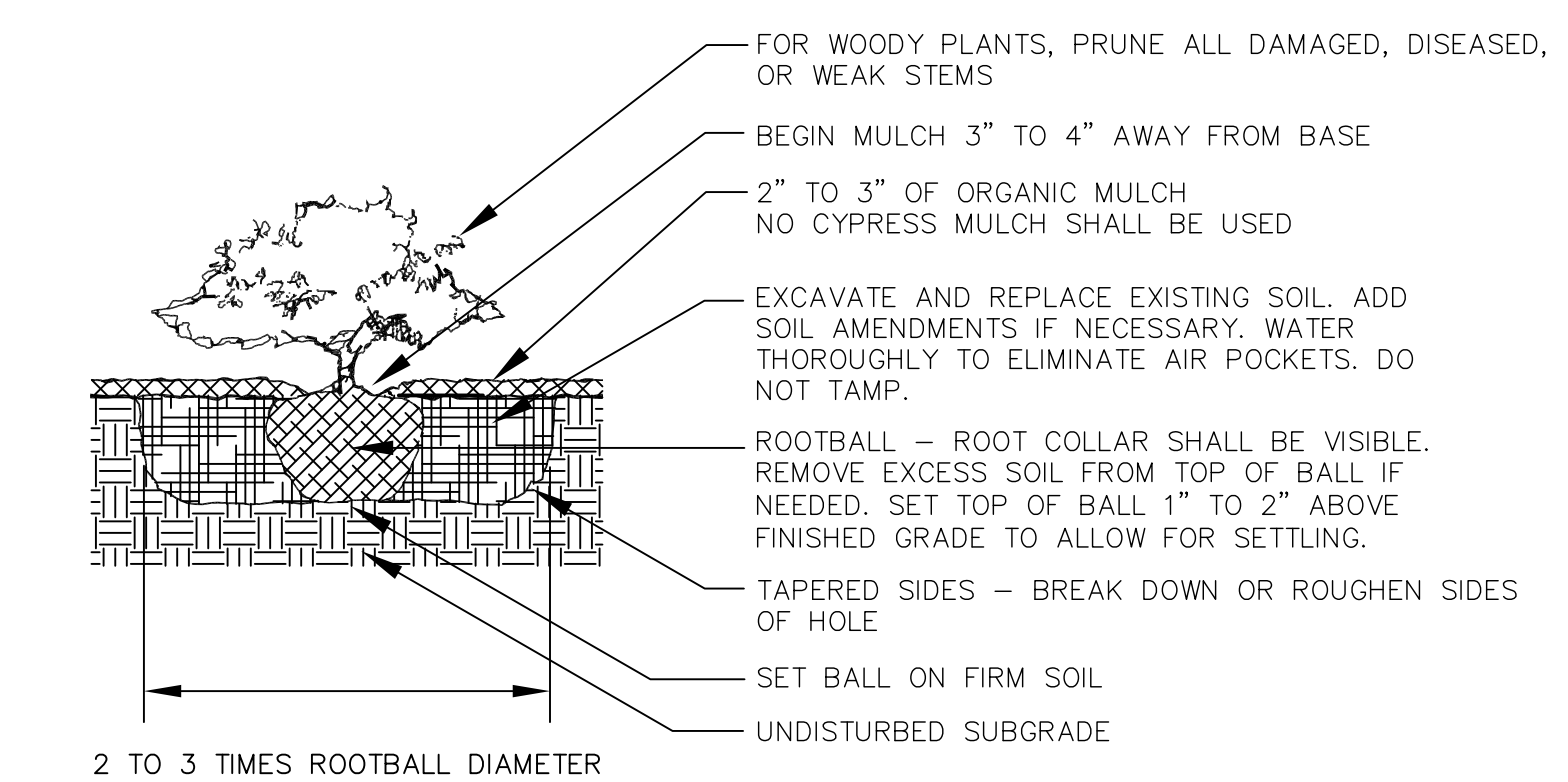
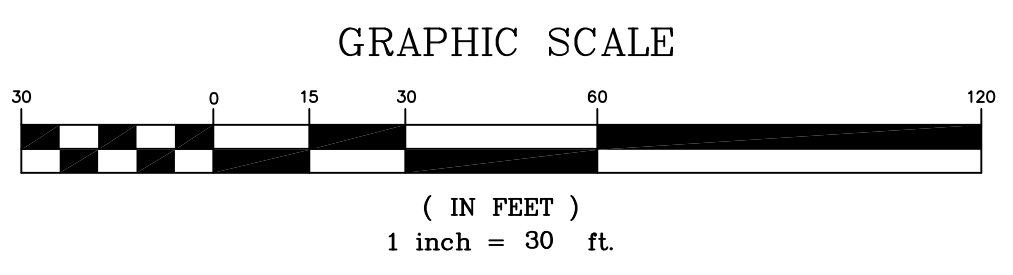
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SHEET NUMBER
C 1.03

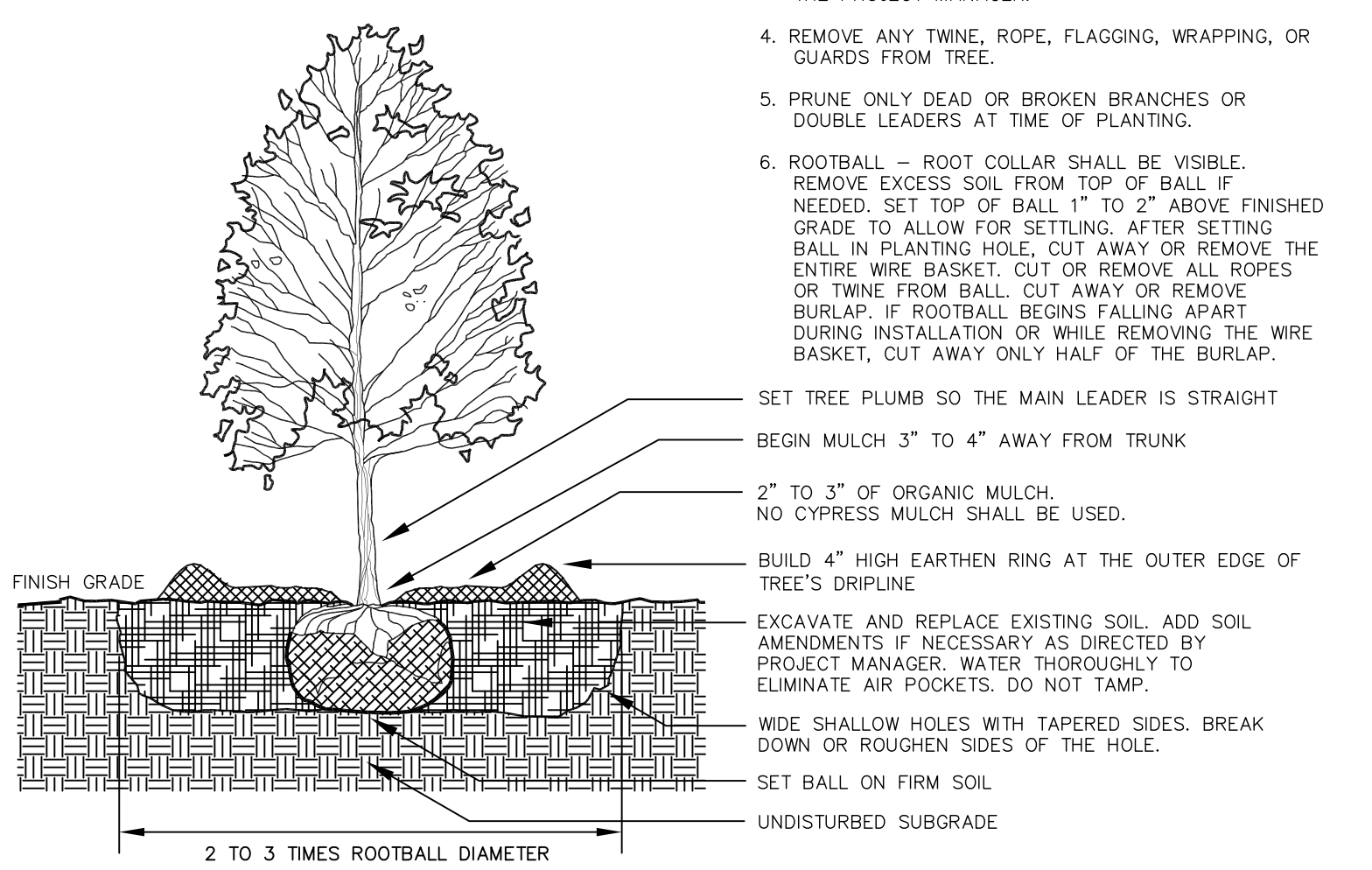


TONTITOWN, ARKANSAS



SHRUB PLANTING DETAIL
NOT TO SCALE

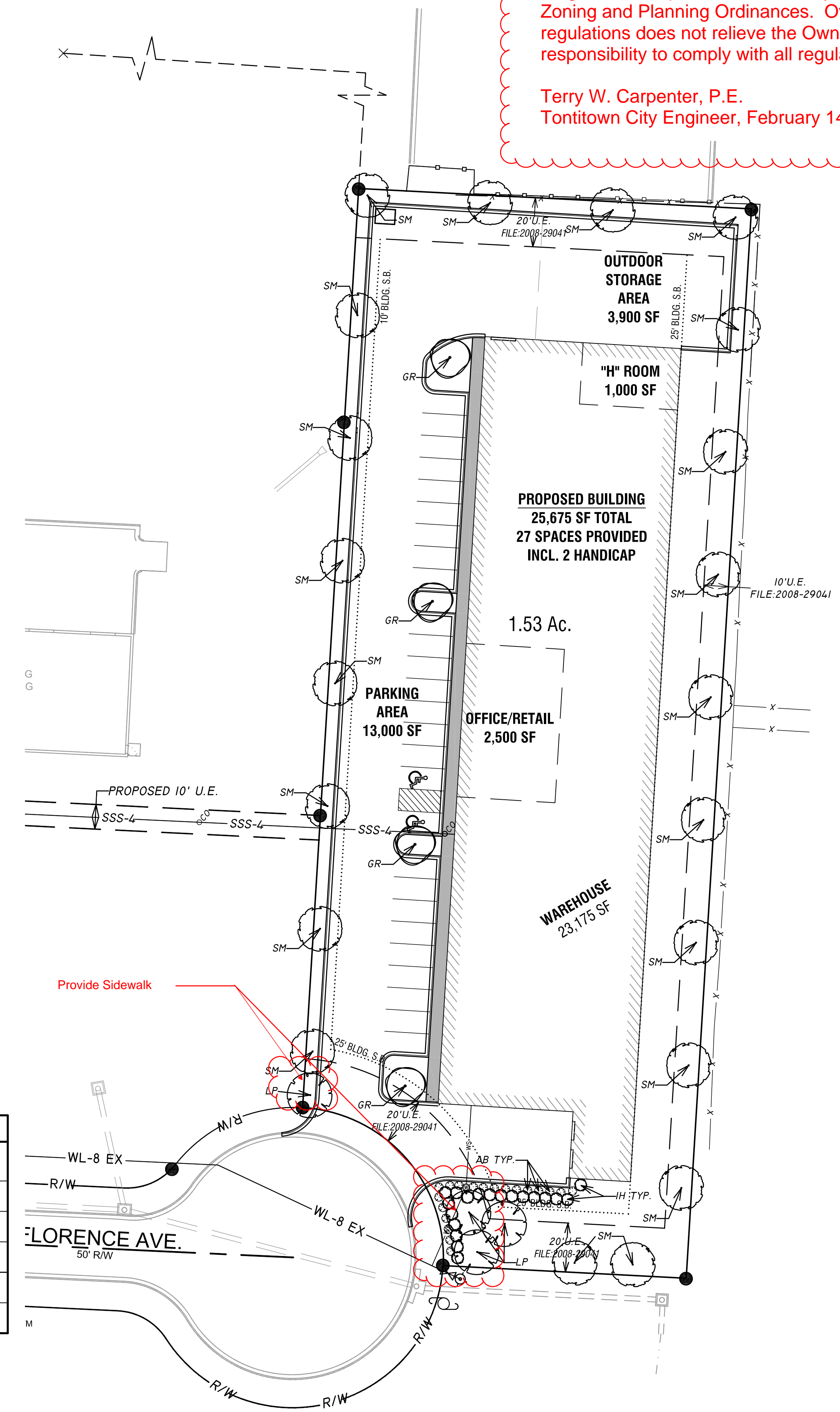
- NOTES:
- TREES SHALL BE 2" CALIPER MINIMUM.
 - THE HOLE FOR THE TREE SHALL BE EXCAVATED 2-3 TIMES THE SIZE OF THE ROOT BALL.
 - STAKE ONLY IF NECESSARY AND AS DIRECTED BY THE PROJECT MANAGER.
 - REMOVE ANY TWINE, ROPE, FLAGGING, WRAPPING, OR GUARDS FROM TREE.
 - PRUNE ONLY DEAD OR BROKEN BRANCHES OR DOUBLE LEADERS AT TIME OF PLANTING.
 - ROOTBALL - ROOT COLLAR SHALL BE VISIBLE. REMOVE EXCESS SOIL FROM TOP OF BALL IF NEEDED. SET TOP OF BALL 1" TO 2" ABOVE FINISHED GRADE TO ALLOW FOR SETTLING. AFTER SETTING BALL IN PLANTING HOLE, CUT AWAY OR REMOVE THE ENTIRE WIRE BASKET. CUT OR REMOVE ALL ROPES OR TWINE FROM BALL. CUT AWAY OR REMOVE BURLAP. IF ROOTBALL BEGINS FALLING APART DURING INSTALLATION OR WHILE REMOVING THE WIRE BASKET, CUT AWAY ONLY HALF OF THE BURLAP.



TREE PLANTING DETAIL
NOT TO SCALE

- LANDSCAPE REQUIREMENTS
- STREET FRONTAGE BUFFER (10 FOOT STRIP)
95 LF FRONTAGE / 25 = 3.8 x 10 = 38 SHRUBS REQUIRED (38 SHRUBS PROVIDED)
- STREET TREES
95 LF FRONTAGE / 50 = 4 TREES REQUIRED (4 TREES PROVIDED)
- PREMIER TREES (REAR / SIDES)
1,069 FL / 50 = 21 TREES REQUIRED (21 TREES PROVIDED)
- INTERIOR ISLAND PLANTING
13,000 SF PARKING AREA x 8% = 1,040 SF ISLAND REQUIRED (1,048 SF PROVIDED)
- Developer is required to provide a three year guarantee from the time of installation. See Section 152.195(B)(9)

QTY	SYM	COMMON NAME/ BOTANICAL NAME	ROOT	MIN. SIZE	NOTES
4	LP	LONDON PLANE TREE <i>Platanus x acerifolia</i>	B&B	2" CAL.	
21	SM	SUGAR MAPLE <i>Acer saccharum</i>	B&B	2" CAL.	
4	GR	GOLDEN RAIN TREE <i>Koelreuteria paniculata</i>	B&B	2" CAL.	
19	IH	INKBERRY HOLLY <i>Ilex glabra</i>	CONT.	3 GAL.	
19	AB	ABELIA GRANDIFLORA <i>Abelia x grandiflora</i>	CONT.	3 GAL.	



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Terry W. Carpenter, P.E.
Tontitown City Engineer, February 14, 2017

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LEGEND

- X CALCULATED POINT
- ⊙ FOUND RAILROAD SPIKE
- SET IRON PIN & CAP
- ⊕ POWER POLE
- △ CENTERLINE MARKER
- ⊙ SEWER MANHOLE
- ⊕ FIRE HYDRANT
- ⊕ STREET LIGHT
- EXISTING 8" SEWER LINE
EX SS-8
- PROPOSED 8" SEWER LINE
SS-8
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- CENTERLINE STREET
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- UTILITY EASEMENT
- NEW 5' SIDEWALK
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UTX
- EXISTING CONTOUR
- FINISHED CONTOUR

PROJECT TITLE:
LARGE SCALE DEVELOPMENT FOR BURTON WAREHOUSE

PROJECT LOCATION:
TONTITOWN, AR

REVISIONS

DATE: 02.07.2017
DRAWN BY: CAZ
PROJECT # 2016139
FILE PATH: Z:\LSD\2016139\DWG\1.LSD.DWG
SHEET SIZE: 22" x 34"
SCALE: 1" = 30'

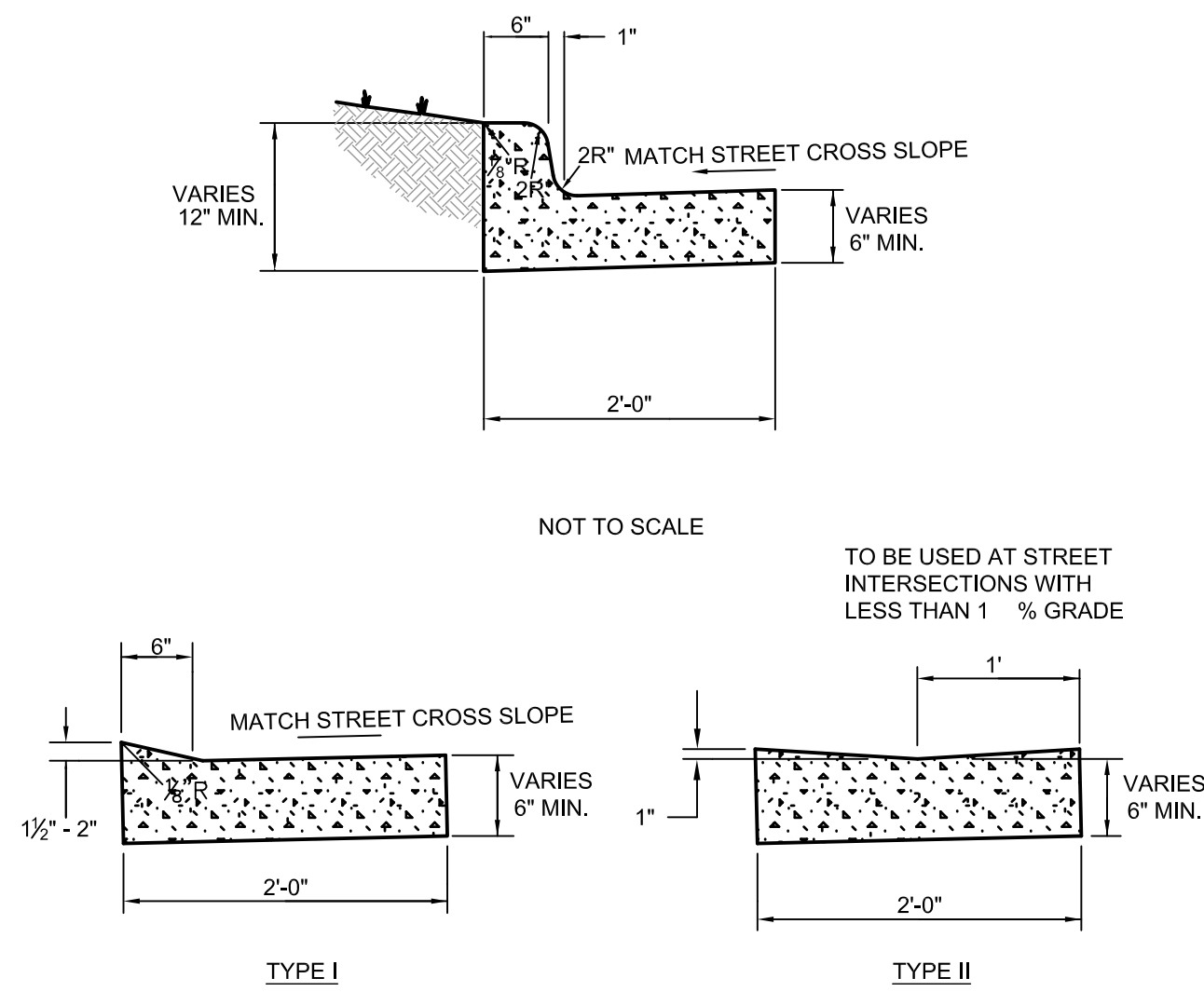
CERTIFICATE OF AUTHORITY

JORGENSEN + ASSOCIATES
No. 722
Arkansas - ENGINEER

EVAN L. NIEHUES
5185
Registered Landscape Architect
Arkansas

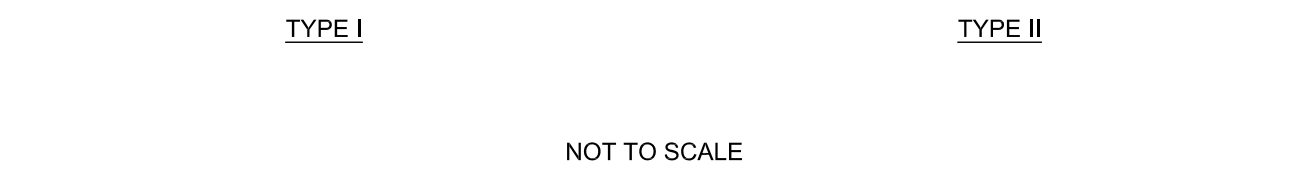
SHEET TITLE
LANDSCAPE PLAN

SHEET NUMBER
L 1.00



NOT TO SCALE

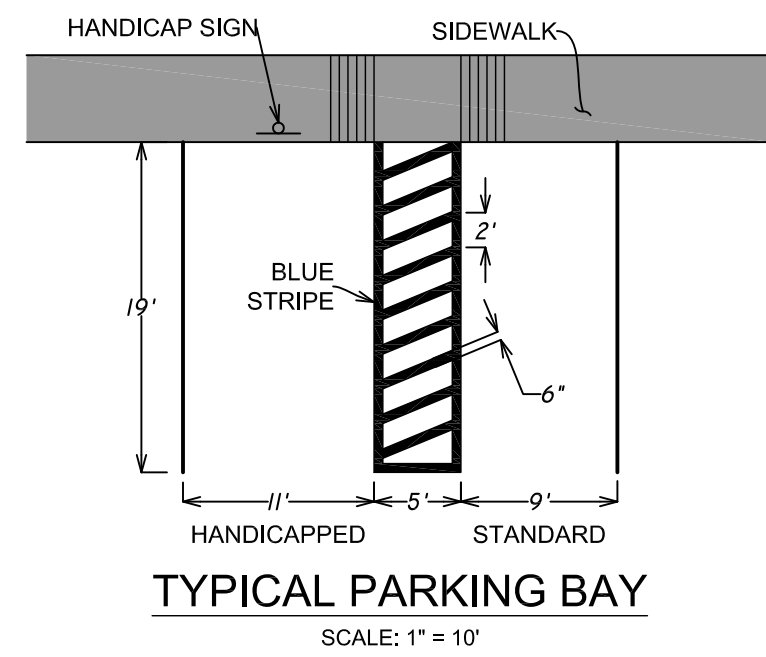
TO BE USED AT STREET INTERSECTIONS WITH LESS THAN 1% GRADE



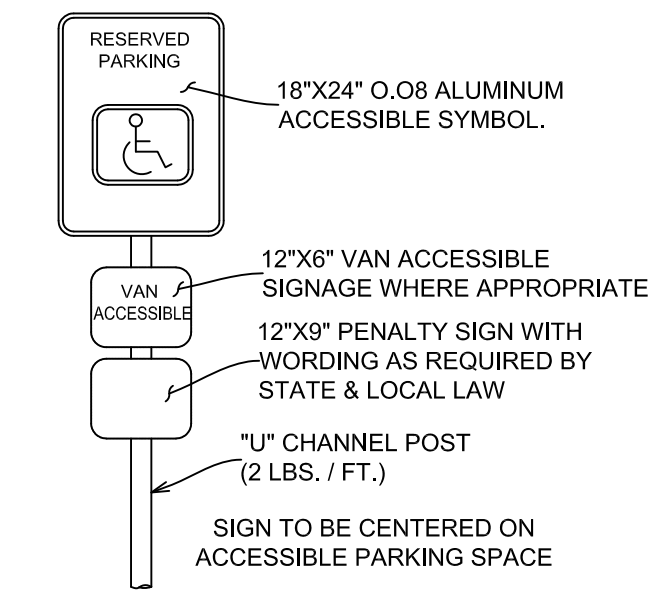
NOT TO SCALE

NOTES:

1. CONCRETE FOR CURB AND GUTTER TO BE CLASS A, 3000 PSI, 5.5 BAG MIX WITH 4-7% AIR ENTRAINMENT.
2. ALL CURB AND GUTTER SHALL HAVE A BROOMED FINISH UNLESS OTHERWISE SPECIFIED.
3. MODIFIED CURB (TYPE I) SHALL BE PLACED ACROSS ALL DRIVEWAY ENTRANCES.
4. MODIFIED CURB (TYPE II) SHALL BE PLACED ACROSS ALL SIDE STREETS WHERE THE LONGITUDINAL GRADE IS LESS THAN 1%.
5. SAW CUT JOINTS AT 15' O.C. SEAL WITH ONE PART COLD APPLIED SILICONE JOINT SEALER OR OTHER APPROVED SEALANT. ALL JOINTS TO BE SEALED PRIOR TO FINAL ASPHALT PLACEMENT.
6. PROVIDE 1/2" PREFORMED EXPANSION JOINT MATERIAL (ASPHALT IMPREGNATED FIBERBOARD OR OTHER APPROVED MATERIAL) AT STATIONARY STRUCTURES, (DROP INLETS, END OF CURBS, DRIVEWAYS - SEE DETAIL) OR AS DIRECTED BY ENGINEER.



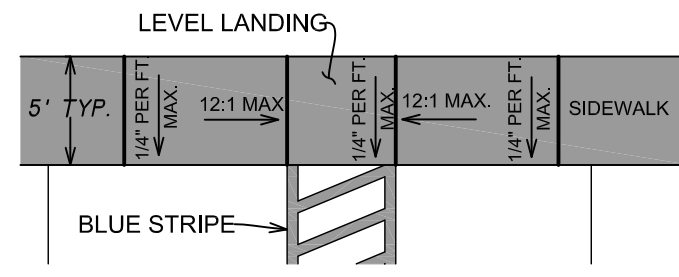
TYPICAL PARKING BAY
SCALE: 1" = 10'



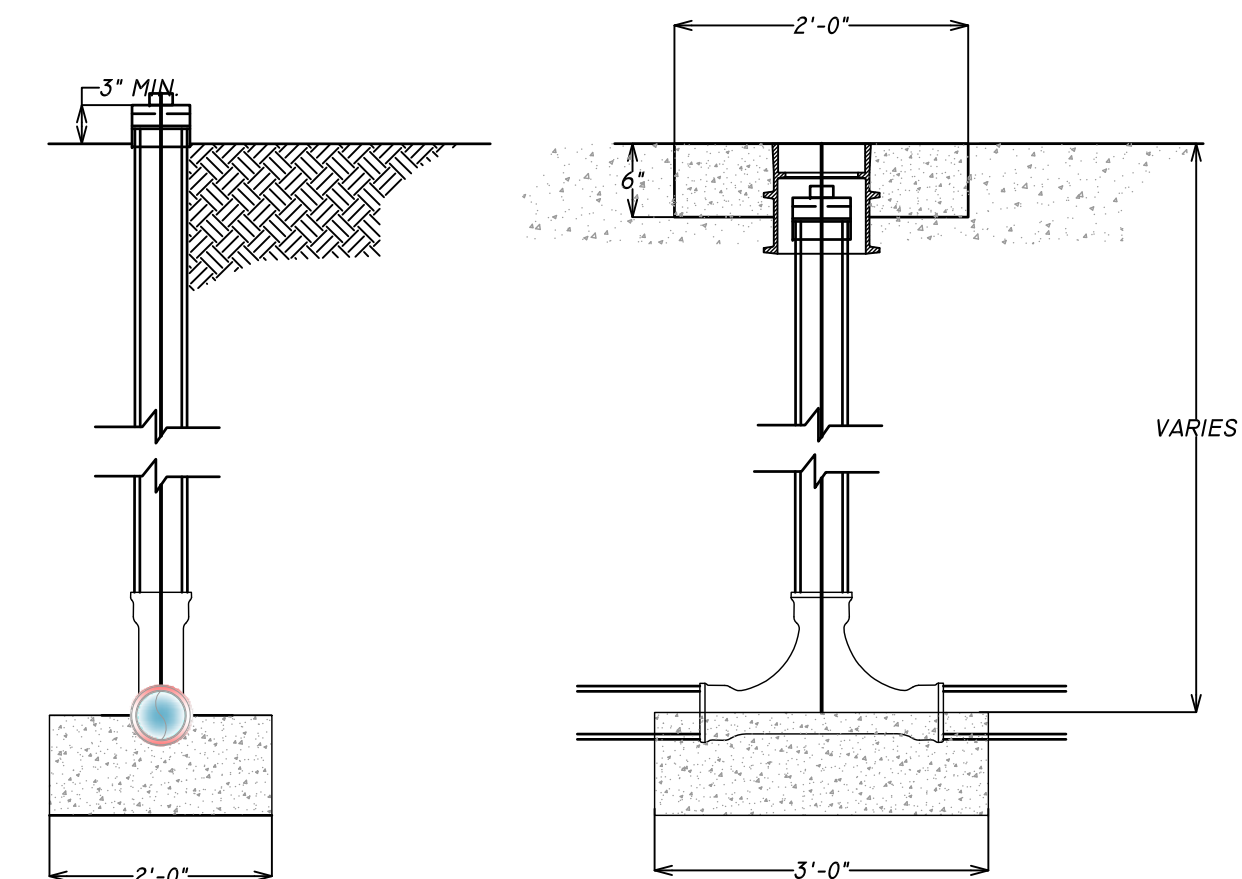
HANDICAP SIGN DETAIL
NOT TO SCALE

NOTES:

1. THE LENGTH OF THE RAMP SHALL BE SUCH THAT THE SLOPE DOES NOT EXCEED 12:1.
2. THE MINIMUM THICKNESS FOR THE RAMP, WALK, & LANDING SHALL BE 4".



WHEELCHAIR RAMP DETAIL
SCALE: 1" = 10'



END VIEW

SIDE VIEW

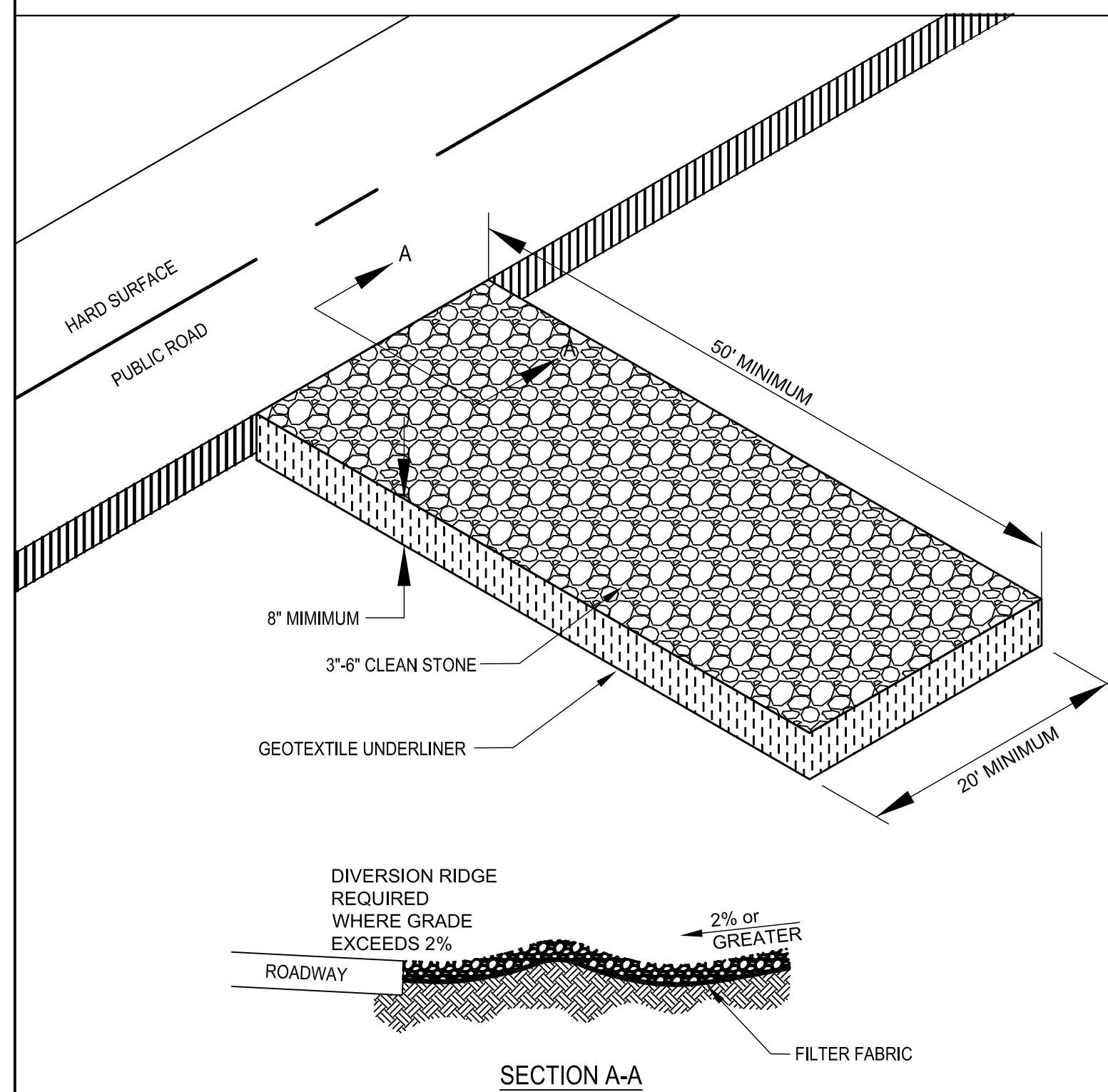
TYPICAL CLEANOUT
N.T.S.

COVER SECTION

COVER TOP VIEW

VALVE BOX SECTION

COVER BACK VIEW



SECTION A-A

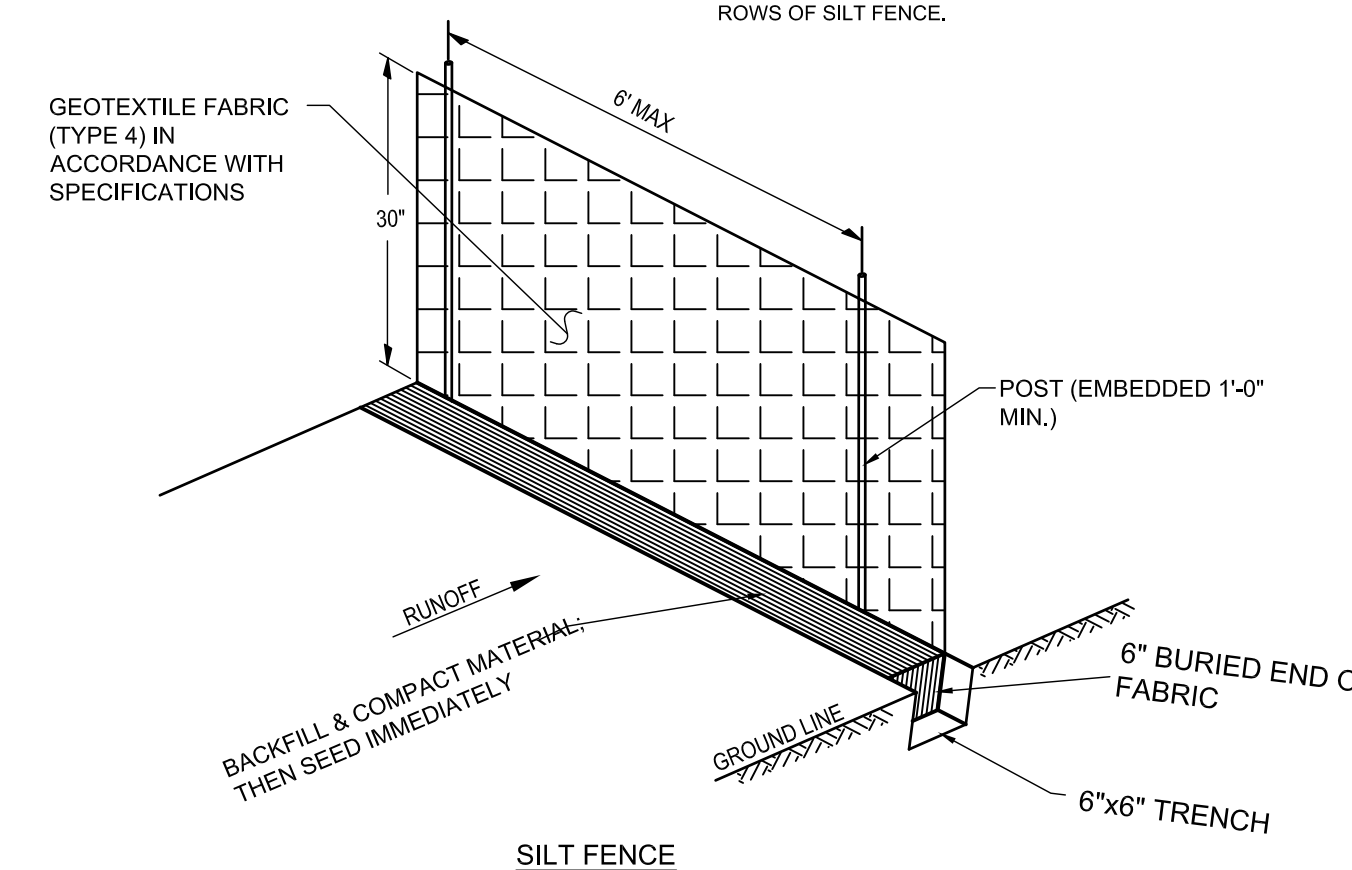
CONSTRUCTION EXIT NOTES

1. REPLACE CONTAMINATED STONE AS REQUIRED TO PREVENT TRACKING OF SEDIMENT OR MUD ON PUBLIC STREETS.
2. CLEAN STREETS DAILY WITH BROOM AND SHOVEL. THE USE OF WATER IS PROHIBITED.
3. ALL VEHICLES MUST USE CONSTRUCTION EXIT.
4. WHEN WHEEL WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.

CONSTRUCTION EXIT
N.T.S.

Slope - Percent	Maximum Slope Length (ft) Above Fence	
	Standard (18" High) Silt Fence	Reinforced (30" High) Silt Fence
2 (or less)	150	250
5	100	250
10	50	150
15	35	100
20	25	70
25	20	55
30	15	45
35	15	40
40	15	35
45	10	30
50	10	25

- NOTES:**
1. THE SLOPE LENGTH SHOWN IS THE DISTANCE FROM THE FENCE TO THE DRAINAGE DIVIDE OR THE NEAREST UPSLOPE CHANNEL.
 2. SLOPE LENGTH CANNOT BE ADDRESSED BY USE OF MULTIPLE ROWS OF SILT FENCE.

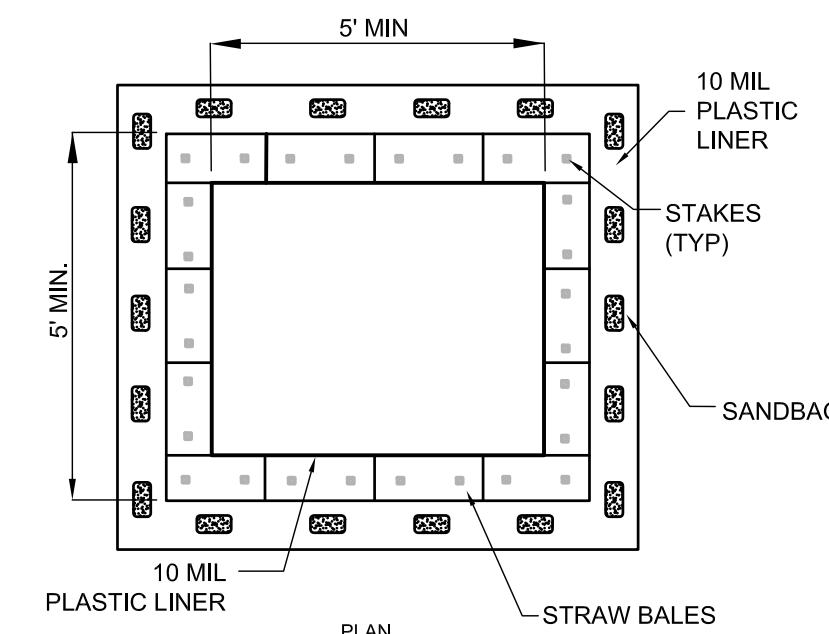


SILT FENCE NOTES

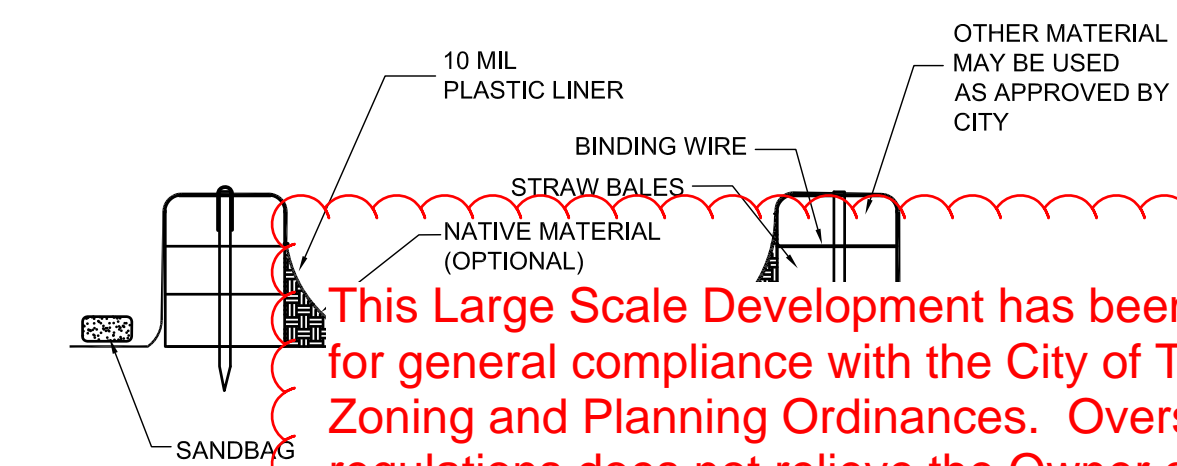
1. POSTS WHICH SUPPORT THE SILT FENCE SHALL BE INSTALLED ON A SLIGHT ANGLE TOWARD THE ANTICIPATED RUNOFF SOURCE. POST MUST BE EMBEDDED A MINIMUM OF ONE FOOT.
2. THE TOE OF THE SILT FENCE SHALL BE TRENCHED IN WITH A SPADE OR MECHANICAL TRENCHER, SO THAT THE DOWNSLOPE FACE OF THE TRENCH IS FLAT AND PERPENDICULAR TO THE LINE OF FLOW. HERE FENCE CANNOT BE TRENCHED IN (e.g. PAVEMENT), WEIGHT FABRIC FLAP WITH ROCK ON UPHILL SIDE TO PREVENT FLOW FROM SEEPING UNDER FENCE.
3. THE TRENCH MUST BE A MINIMUM OF 6 INCHES DEEP AND 6 INCHES WIDE TO ALLOW FOR THE SILT FENCE FABRIC TO BE LAID IN THE GROUND AND BACKFILLED WITH COMPACTED MATERIAL.
4. SILT FENCE SHOULD BE SECURELY FASTENED TO EACH SUPPORT POST OR TO WOVEN WIRE, WHICH IN TURN IS ATTACHED TO THE FENCE POST. THERE SHALL BE A 3 FOOT OVERLAP, SECURELY FASTENED WHERE ENDS OF FABRIC MEET.
5. REPAIR OR REPLACEMENT SHALL BE MADE PROMPTLY AS NEEDED.
6. SILT FENCE SHALL BE REMOVED WHEN THE SITE IS COMPLETELY STABILIZED SO AS NOT TO BLOCK OR IMPEDE STORM FLOW OR DRAINAGE.
7. ACCUMULATED SILT SHALL BE REMOVED WHEN IT REACHES A DEPTH OF HALF THE HEIGHT OF THE FENCE. THE SILT SHALL BE DISPOSED OF AT AN APPROVED SITE AND IN SUCH A MANNER AS TO NOT CONTRIBUTE TO ADDITIONAL SILTATION.

WASHOUT NOTES

1. NO WASHING OUT OF CONCRETE TRUCKS OR WASHING OF SWEEPINGS FROM EXPOSED AGGREGATE CONCRETE INTO STORM DRAINS, OPEN DITCHES, STREETS, OR STREAMS IS ALLOWED.
2. EXCESS CONCRETE IS NOT ALLOWED TO BE DUMPED ON-SITE, EXCEPT IN DESIGNATED TEMPORARY CONCRETE WASHOUT PIT AREAS.
3. ON-SITE TEMPORARY CONCRETE WASHOUT AREAS WILL BE LOCATED AT LEAST 50 FEET FROM STORM DRAINS, OPEN DITCHES, OR WATER BODIES AS DETERMINED IN THE FIELD.
4. TEMPORARY CONCRETE WASHOUT FACILITIES WILL BE CONSTRUCTED AND MAINTAINED IN SUFFICIENT QUANTITY AND SIZE TO CONTAIN ALL LIQUID AND CONCRETE WASTE GENERATED BY WASHOUT OPERATIONS.
5. WASHOUT FACILITIES WILL BE CLEANED OUT OR REPLACED ONCE THE WASHOUT IS 75% FULL.
6. PLASTIC LINING MATERIAL WILL BE MINIMUM OF 10 MIL POLYETHYLENE SHEETING AND WILL BE FREE OF HOLES, TEARS, OR OTHER DEFECTS.
7. WHEN WASHOUT FACILITIES ARE NO LONGER REQUIRED FOR WORK, THE HARDENED CONCRETE WILL BE REMOVED AND DISPOSED OF OFFSITE. MATERIALS USED TO CONSTRUCT TEMPORARY CONCRETE WASHOUT FACILITIES WILL BE REMOVED FROM THE SITE AND DISPOSED OF.



PLAN



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Terry W. Carpenter, P.E.
Tontitown City Engineer, February 14, 2017

LEGEND

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- ⊙ FOUND RAILROAD SPIKE
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- - - BUILDING SETBACK
- - - UTILITY EASEMENT
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- - - EXISTING CONTOUR
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PROJECT DETAILS

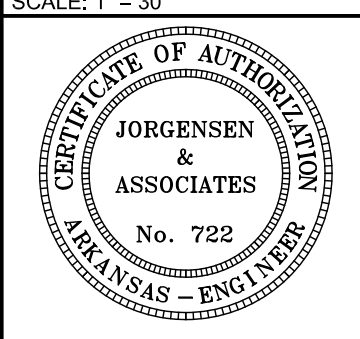
PROJECT TITLE:
LARGE SCALE DEVELOPMENT FOR BURTON WAREHOUSE

PROJECT LOCATION:
TONTITOWN, AR

REVISIONS

NO.	DESCRIPTION

DATE: 02.07.2017
DRAWN BY: CAZ
PROJECT # 2016139
FILE PATH: Z:\LS\2016139\DWG\LS.DWG
SHEET SIZE: 22" x 34"
SCALE: 1" = 30'



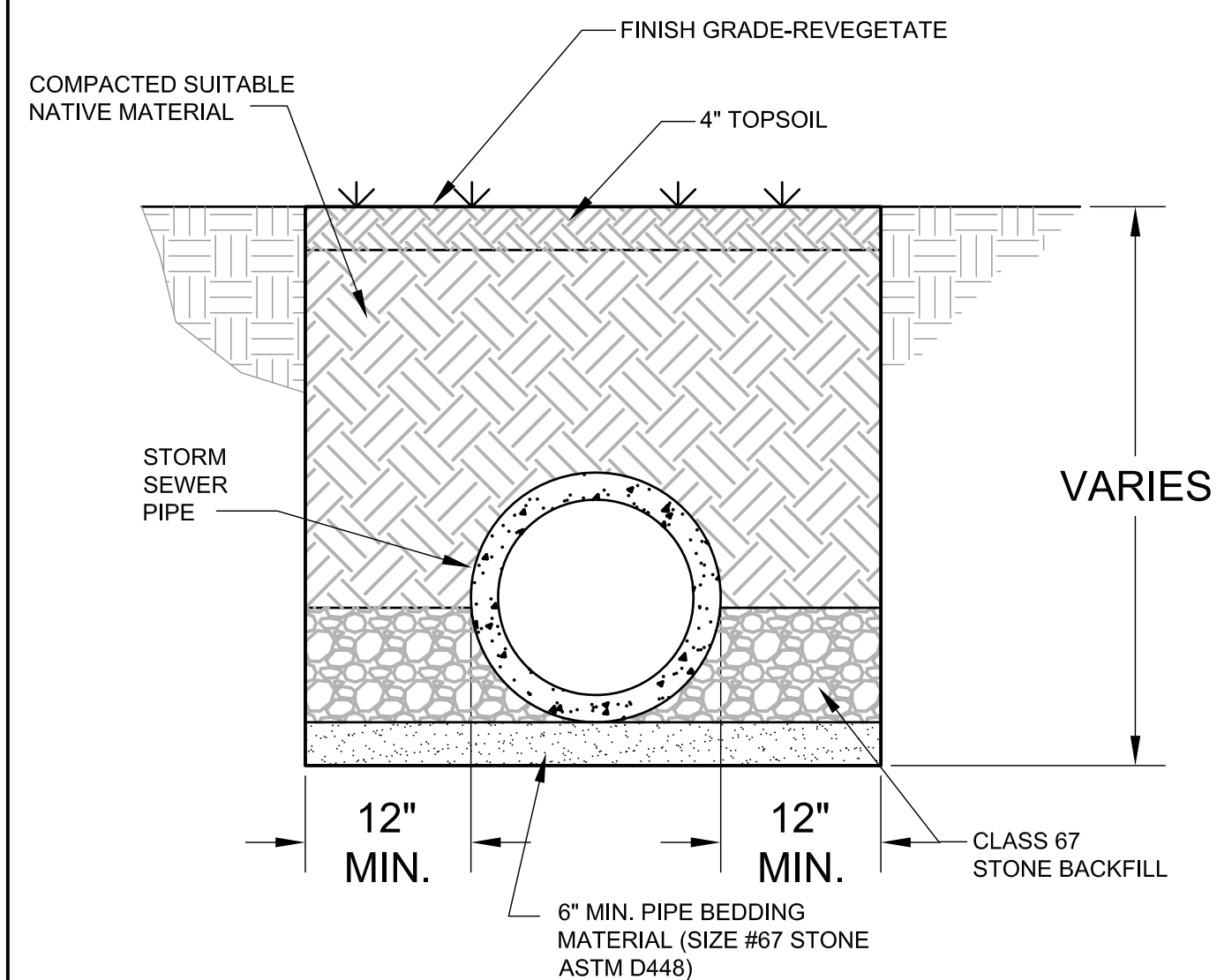
SHEET TITLE

DETAILS

SHEET NUMBER

C 5.01

- NOTE:
1. ALL TRENCH EXCAVATION SHALL BE IN ACCORDANCE WITH OSHA REQUIREMENTS.
 2. FULL DEPTH CLASS 7 ABC BACKFILL COMPACTED TO 95% MODIFIED PROCTOR DENSITY REQUIRED UNDER ALL PAVEMENT



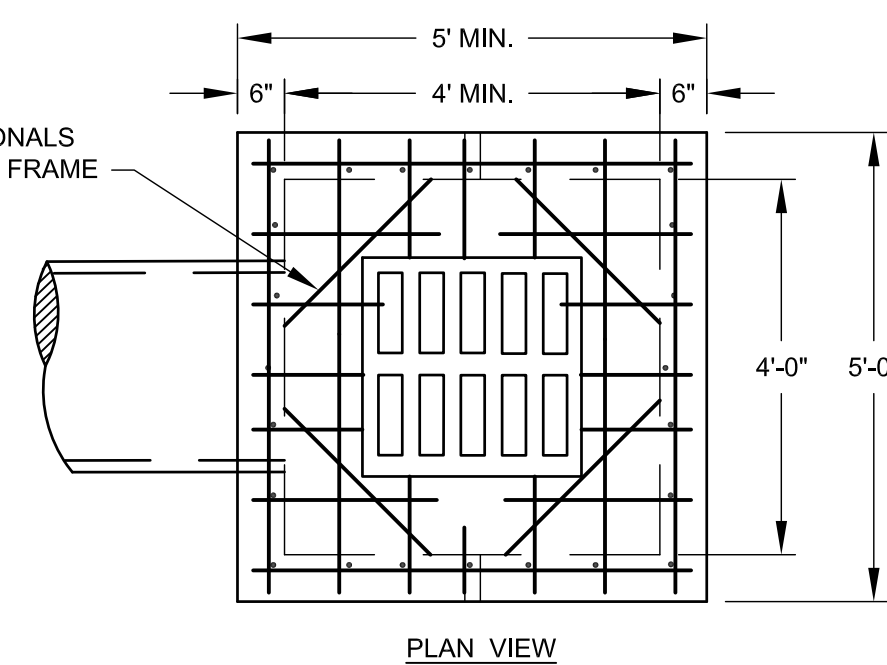
STORM SEWER (RIGID PIPE)

JUNCTION BOX NOTES

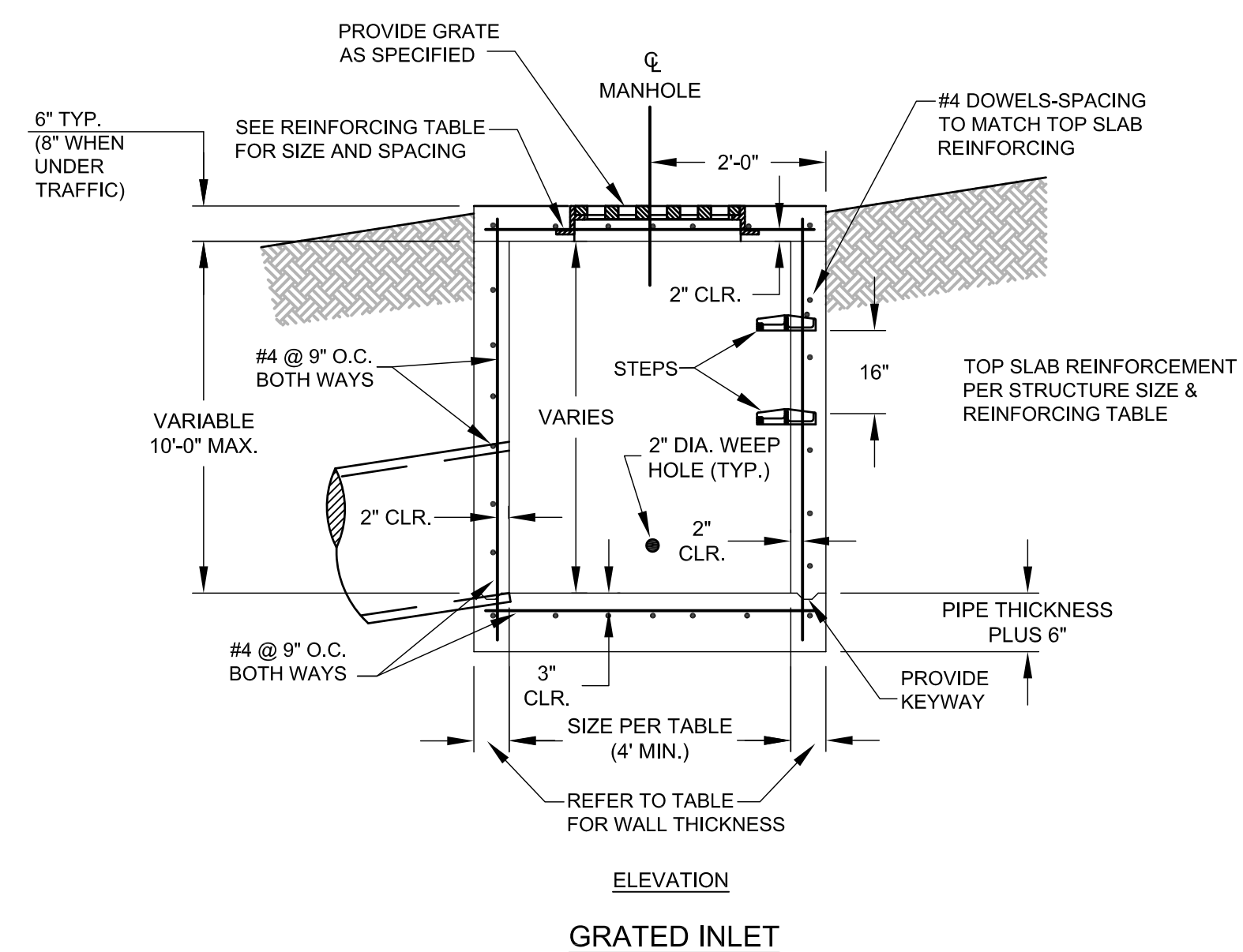
1. ALL EXPOSED CORNERS TO HAVE 3/4" CHAMFER.
2. ALL REINFORCEMENT BARS SHALL BE GRADE 60 AND SHALL HAVE A MINIMUM 2" COVER UNLESS OTHERWISE NOTED.
3. CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3500 p.s.i. -TOP 18" SHALL BE CAST-IN-PLACE.
4. INVERTS SHALL BE POURED MONOLITHICALLY WITH FOOTING.
5. PIPES MAY ENTER BOX FROM ANY ANGLE OF ELEVATION AS DIRECTED BY THE ENGINEER. REINFORCING BARS SHALL BE CUT TO CLEAR PIPE BY 2".
6. STEPS ARE REQUIRED IN STORM DRAIN MANHOLES THAT ARE AT 4 FT OF DEPTH AND GREATER (FROM INVERT TO RIM). CENTERLINE OF MANHOLE LID SHALL BE 2 FT FROM THE WALL WHERE STEPS ARE LOCATED. STEPS (6" x 12") SHALL BE COPOLYMER POLYPROPYLENE PLASTIC WITH STEEL CORE AT 16" APART.
7. LIMIT DEFLECTION TO 60 DEGREES. IF GREATER, USE NEXT LARGER MANHOLE DIAMETER/SIZE.

INSIDE DIMENSION	DIAMETER OF OUTLET PIPE	MIN. WALL THICKNESS	* TOP CONCRETE SLAB REINFORCING	MIN. WALL THICKNESS
4'	15" - 18"	6"	# 4'S @ 8" O.C. E.W.	6"
5'	24" - 42"	8"	# 4'S @ 7" O.C. E.W.	8"
6'	48" - 54"	8"	# 5'S @ 9" O.C. E.W.	8"

* WHEN UNDER TRAFFIC, USE # 5'S @ 6" O.C. E.W.



PLAN VIEW



ELEVATION

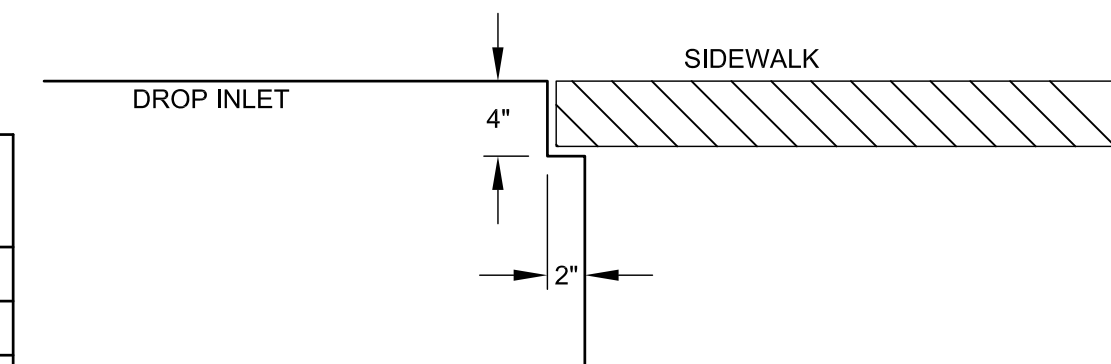
GRATED INLET

JUNCTION BOX NOTES

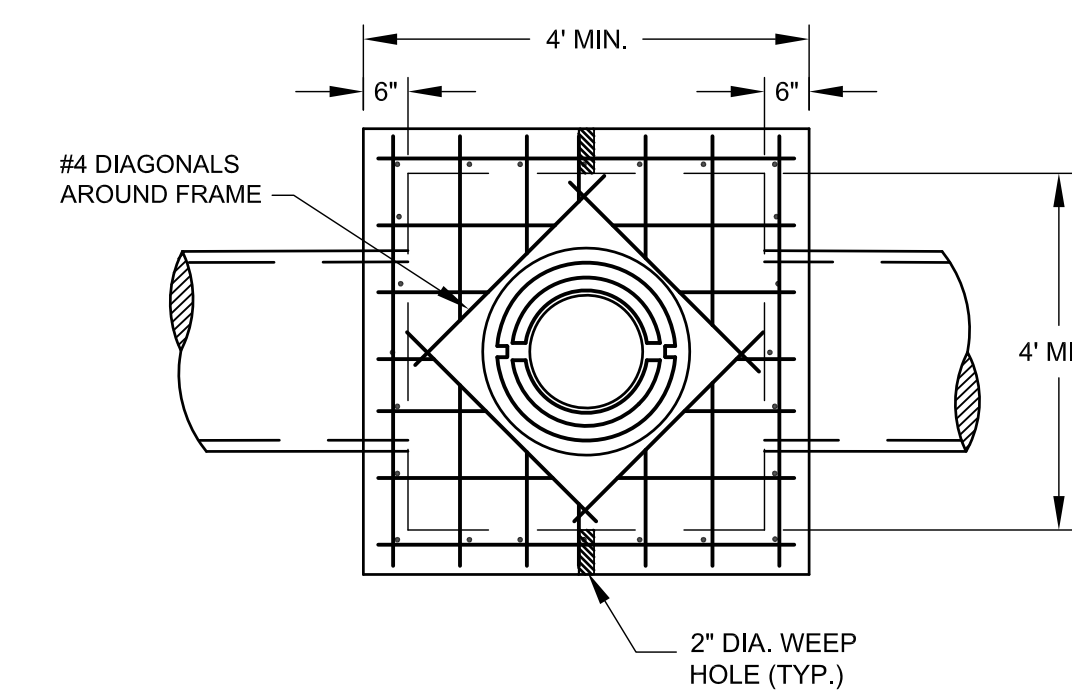
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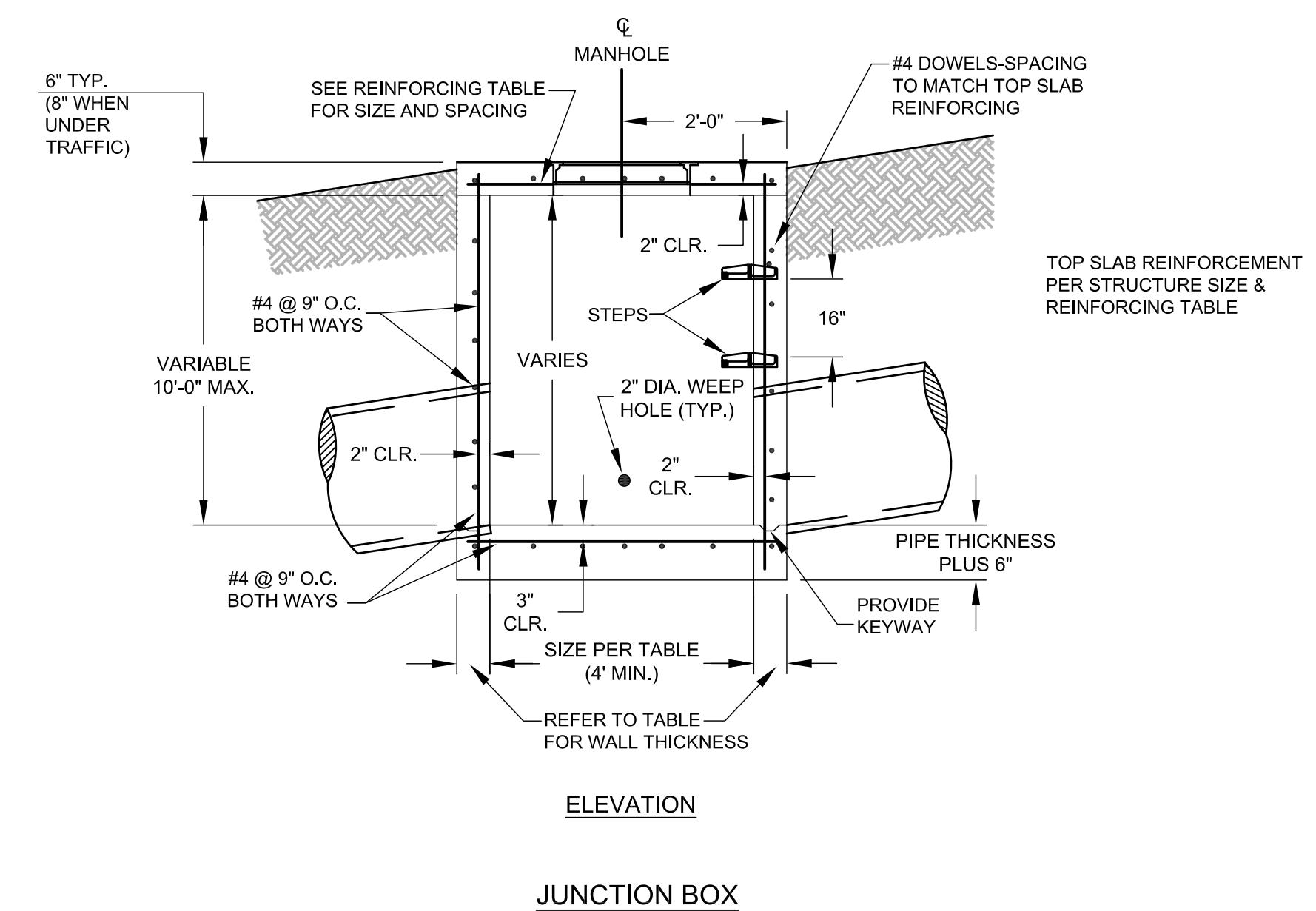
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NOTCH FOR SIDEWALKS



PLAN VIEW



ELEVATION

JUNCTION BOX

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STATE OF ARKANSAS
REGISTERED PROFESSIONAL ENGINEER
No. 13842
TERRY S. INMAN

SHEET TITLE
DETAILS

SHEET NUMBER
C 5.01