



## CITY OF TONTITOWN PLANNING OFFICE

201 E. Henri de Tonti Blvd.  
479-361-2700  
planning@tontitownar.gov

Meeting: **February 23, 2021**  
Project: **Grease Monkey**  
Planner: Courtney McNair, Garver

### AGENDA ITEM

## D

### PRELIMINARY LARGE-SCALE DEVELOPMENT PLAN APPROVAL REQUEST

Southwest corner of the intersection of US Highway 412 and Industrial Circle West.

Lot 16 Industrial Park NWA

Parcel # 830-37814-000

**SUMMARY:** Grease Monkey is requesting Preliminary Large-Scale Development (LSD) approval for a 4,430 SF commercial building on 1.15 acres.

**CURRENT ZONING:** C-2 General Commercial

**CITY WARD:** 1- Gene McCartney, Amber Ibarra

**FLOODPLAIN:** No

**INFRASTRUCTURE SERVICE AREAS** (not a guarantee of service availability):

**Water:** Tontitown Water, existing 6" line

**Electric:** Ozarks Electric

**Sewer/Septic:** Tontitown Sewer

**Phone:** AT&T

**Natural Gas:** Black Hills Energy

**Cable:** Cox Communications

**School District:** Springdale

#### PROJECT SYNOPSIS:

Grease Monkey is requesting Preliminary Large-Scale Development (LSD) approval for a 4,430 SF commercial building on 1.15 acres.

This is an allowable use in the C-2, Commercial, district.

#### TECHNICAL INFORMATION:

##### Utilities:

**Water:** Tontitown Water-According to the Water System information, there is an existing 6-inch water line along Industrial Circle West that appears to stop at the southwest corner of this site.

**Electric:** Ozarks Electric- OECC provided comments for the applicant to address:

- Where is MDP located at building? What is voltage needed?
- Have existing 3 phase OH power line along the east property line of this commercial lot. Please show 30' UE for power line. **-this has been addressed**
- Relocation of OECC facilities if needed will be at the developers' expense.
- Additionally, the standard "Commercial Plat" comments were submitted with contact information for the applicant.

**Sewer/Septic:** Sewer- this project proposes to connect to the City of Tontitown sewer system. The connection must be approved prior to construction.

**Phone:** AT&T- No comments were received from ATT.

**Natural Gas:** Black Hills Energy- No comments were received from BHE.

**Cable:** Cox Communications- No comments were received from Cox.

It is the applicant's responsibility to coordinate any additional utility easements or connections as needed to service their property.

**School District:** Springdale school district submitted no comments.

**Stormwater Pollution Prevention Plan (SWPPP):**

The applicant has provided a grading and drainage plan showing erosion control measures. A SWPPP must be completed and posted on site prior to construction.

**Police:**

No comments were submitted from the Tontitown Police Chief.

**Fire:**

There is one (1) existing hydrant shown at the southwest corner of this site. No additional hydrants are proposed. No fire flow data was provided. The gpm (gallons per minute) flow data is required to be shown on this plan.

The Fire Marshal wants to discuss the location of fire lanes with the applicant and will require a Knox box for fire access.

All interior drives must meet the required compaction rating to support emergency vehicles.

**Drainage:**

There is a detention pond proposed for this site. A revised drainage report was submitted for review. The City Engineer has submitted comments addressing the resubmitted plans and drainage report. Additional comments are noted and will be provided to the applicant's engineer. All remaining comments from the City Engineer must be addressed prior to Construction Plan approval.

**Streets:**

This site has street frontage on AR Hwy. 412/Henri de Tonti Blvd. and Industrial Circle West. Two (2) entrances are proposed to access Industrial Circle West. Site visibility appears to be adequate from the proposed entrance location.

The applicant is showing a sidewalk along Industrial Circle West that connects to a proposed trail along AR Hwy. 412/Henri de Tonti Blvd. Approval for the trail section will be required by the Arkansas Department of Transportation (ARDOT) as it is located in the ARDOT right-of-way. The applicant worked with staff to provide an appropriate pedestrian connection to the property to the east.

As stated above, all interior drives must meet the required compaction rating to support emergency vehicles.

The required cross-access drive is located on the southern portion of this property due to multiple conflicts on the north side. This access drive will need to have an access easement added for future connectivity.

**Planning:**

Revised Building Elevations and Plans were submitted to show compliance with the required design standards. The square footage of each use will need to be shown on the site plans.

Screening details for the Dumpster have been added.

Landscape plans have also been updated to reflect additional details showing adherence to the Landscaping Code. Irrigation is provided with the addition of two (2) hose bibs. There are two (2) comments remaining to be addressed regarding the Landscaping Plans:

- The Landscape Plans is showing "Sugar Maple" in the Plant List table, but the applicant has stated this tree will not be used in this location. It appears to be a typo, and should be replaced with the intended "Golden Raintree".
- There is a note on the plans that states "Required landscaping shall be irrigated by an underground sprinkler system" which is in contrast to the stated information in the resubmitted checklist and the hose bibs shown on the plan. If both are to be used, please provide clarification.

All requirements for setbacks, lot coverage, and parking have been adequately addressed.

**STAFF FINDINGS:**

There are some details that remain to be addressed at the Construction Plan phase of plan review, but nothing that should significantly impact the overall design.

**CONDITIONS FOR CODE COMPLIANCE:**

1. It is the applicant's responsibility to coordinate any additional utility easements or connections as needed to service their property.
2. Address any remaining comments from Ozarks Electric.
3. The SWPPP must be completed and posted on site prior to construction.
4. The gpm (gallons per minute) flow data for the existing fire hydrant shall be shown on this plan.
5. The Fire Marshal shall approve the location of fire lanes.
6. A Knox box for fire access shall be required.
7. All interior drives shall meet the required compaction rating to support emergency vehicles.
8. Approval for the trail section will be required by the Arkansas Department of Transportation (ARDOT) as it is located in the ARDOT right-of-way.
9. Correct all comments from the City Engineer prior to Construction Plan approval.
10. The required cross-access drive shall be required to be an access easement added for future connectivity. This easement shall be shown on the plans.
11. The square footage of each use within the building shall be shown on the site plans.
12. Correct the Landscape Plan to clarify the following:
  - "Sugar Maple" is shown in the Plant List table, but the applicant has stated this tree will not be used in this location. It appears to be a typo and should be replaced with the intended "Golden Raintree".
  - There is a note on the plans that states "Required landscaping shall be irrigated by an underground sprinkler system" which is in contrast to the stated information in the resubmitted checklist and the hose bibs shown on the plan. If both are to be used, please provide clarification.
13. The applicant shall apply for all required permits prior to construction.
14. An easement plat showing the location of all drainage, utility, and access easements shall be filed for record prior to Final LSD Plan approval.

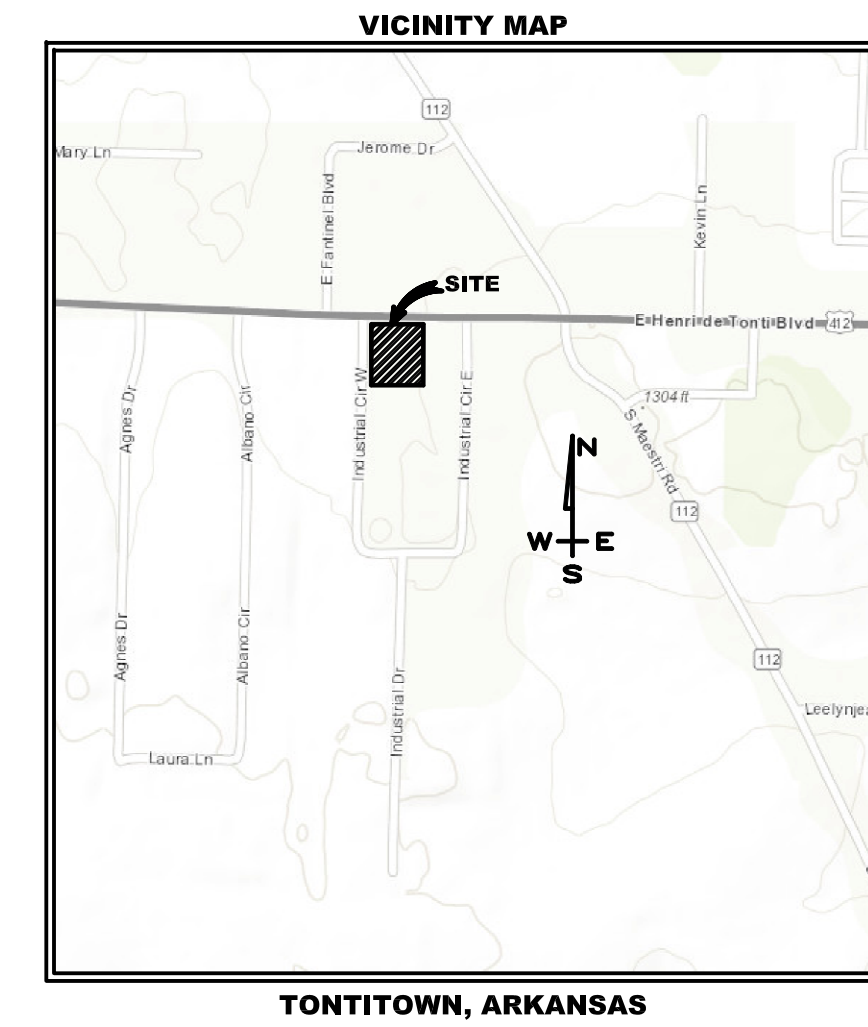
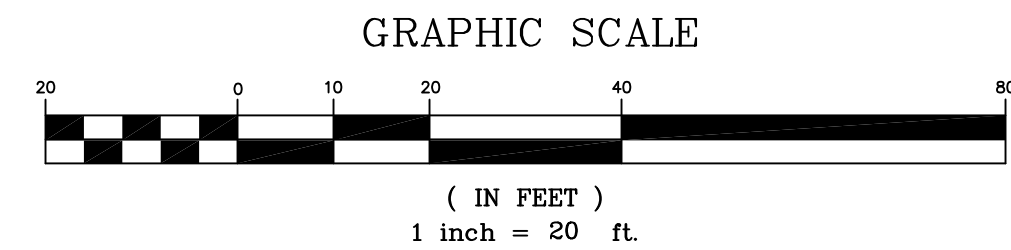
# Existing Water and Sewer Connections



830-37879-000  
LIBERTY BANK OF ARKANSAS TONTITOWN BRANCH  
ATTN: ACCOUNTING DEPT.  
P.O. BOX 7514  
JONESBORO, AR. 72401  
ZONING: C-2

830-37878-000  
ARKANSAS PHARMACY PROPERTY LLC.  
415 ROGERS AVENUE  
FORT SMITH, AR. 72901  
ZONING: C-2

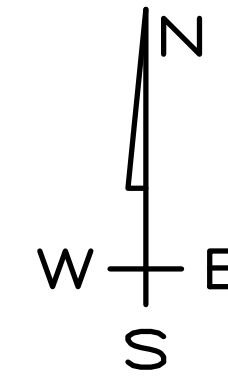
830-37877-000  
B-DEK LLC.  
850 E. HENRI DE TONTI BLVD.  
SPRINGDALE, AR. 72762-4124  
ZONING: C-2



**NOTES:**

1. PARCEL NUMBER: 830-37814-000.
2. CURRENT ZONING: C-2 (GENERAL COMMERCIAL).
3. ROTATION BASED ON ARKANSAS STATE PLANE GRID NORTH ZONE (NAD83).
4. BOUNDARY BASED ON FINAL PLAT OF NWA INDUSTRIAL PARK & WARRANTY DEED FILE #2000-003672.
5. OWNER: JOHN & MARY THOMPSON REV. LIVING TRUST - 4402 SPYGLASS DRIVE - SPRINGDALE, AR. 72764.
6. THIS PROPERTY IS NOT AFFECTED BY THE 100 YEAR FLOOD PLAIN AS PER FIRM #05143C0065F DATED MAY 16, 2008.

BUILDING SETBACK TABLE	
FRONT	25'
SIDE	10'
REAR	25'



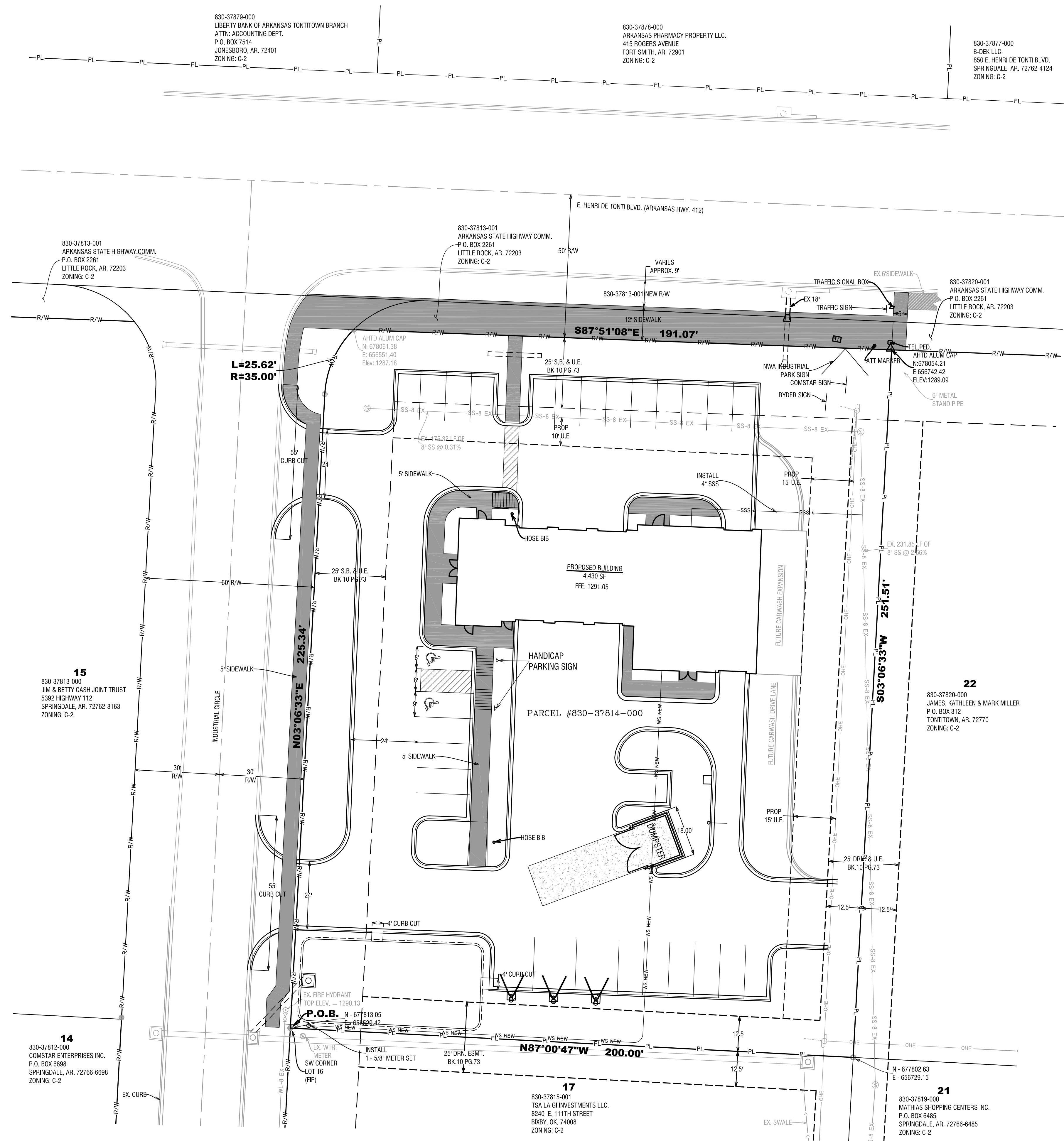
**LEGAL DESCRIPTION:**

A PART OF LOT 16 OF THE NORTHWEST ARKANSAS INDUSTRIAL PARK IN THE CITY OF TONTITOWN, ARKANSAS, AS PER PLAT ON FILE IN THE OFFICE OF THE CIRCUIT CLERK AND EX-OFFICIO RECORDER OF WASHINGTON COUNTY, ARKANSAS, AND BEING DESCRIBED AS FOLLOWS: BEGINNING AT THE SW CORNER OF SAID LOT 16, SAID POINT BEING THE POINT OF BEGINNING, THENCE N03°06'33"E 225.34 FEET, THENCE ALONG A NON-TANGENT CURVE TO THE RIGHT 25.62 FEET, SAID CURVE HAVING A RADIUS OF 35.00 FEET AND A CHORD BEARING AND DISTANCE OF N24°04'15"E 25.05 FEET, THENCE S87°51'08"E 191.07 FEET, THENCE S03°06'33"W 251.51 FEET, THENCE N87°00'47"W 200.00 FEET TO THE POINT OF BEGINNING; CONTAINING 1.15 ACRES MORE OR LESS SUBJECT TO EASEMENTS AND RIGHT OF WAY OF RECORD.

C-2 BUILDING SETBACK TABLE	
<b>Minimum lot size</b>	
Multi-Family (units/acre)	16/acre
Nonresidential uses (sq. ft.)	12,000
<b>Minimum lot width (all uses)</b>	100 feet
<b>Minimum lot depth (all uses)</b>	100 feet
<b>Front setback</b>	
Residential uses	25 feet
Nonresidential uses	25 feet
<b>Street side setback (all)</b>	25 feet
<b>Interior side setback</b>	
Residential uses	30 feet
Nonresidential uses	10 feet
<b>Rear setback</b>	
Residential uses	25 feet
Nonresidential uses	25 feet
<b>Maximum height</b>	35 feet
<b>Maximum lot coverage (all uses)</b>	60%
<b>Maximum floor area (sq. ft.)</b>	NS

PARKING REQUIREMENTS:	
BUILDING SIZE:	= 4,430 SF
REQUIREMENT FOR VEHICLE REPAIR (GENERAL) 5 PER SERVICE BAY	REQUIRED: 3 SERVICE BAYS = 15 SPACES
TOTAL SPACES REQUIRED = 15	TOTAL SPACES PROVIDED = 29
REQUIRED ADA SPACES = 2 SPACES	PROVIDED ADA SPACES = 2 SPACES

SITE AREA CALCULATIONS:	
TOTAL AREA:	1.15 AC
<b>PREDEVELOPMENT:</b>	
-IMPERVIOUS:	0.00 AC (0.00%)
-PERVIOUS:	1.15 AC (100.00%)
<b>POSTDEVELOPMENT:</b>	
-IMPERVIOUS:	0.664 AC (57.7%)
-PERVIOUS:	0.486 AC (42.3%)



**JORGENSEN + ASSOCIATES**  
Civil Engineering + Surveying  
www.jorgensenassoc.com

124 W Sunbridge Drive, Suite 5  
Fayetteville, AR 72703  
Office: 479.442.9127  
Fax: 479.582.4807

**LEGEND**

- FOUND IRON PIN
- SET IRON PIN & CAP
- ⊕ POWER POLE
- ⊙ SEWER MANHOLE
- ⊕ FIRE HYDRANT
- ⊕ WATER METER
- EXISTING 8" WATERLINE
- EXISTING 8" SEWER LINE
- CENTERLINE STREET
- BUILDING SETBACK
- UTILITY EASEMENT
- EXISTING CHAINLINK FENCE
- EXISTING SWALE
- BOUNDARY LINE
- STREET RIGHT OF WAY
- EXISTING CONTOUR
- OVERHEAD ELECTRIC

**PROJECT DETAILS**

**PROJECT TITLE:**  
LARGE SCALE DEVELOPMENT FOR GREASE MONKEY

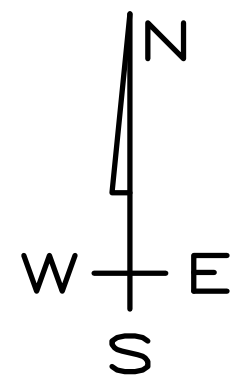
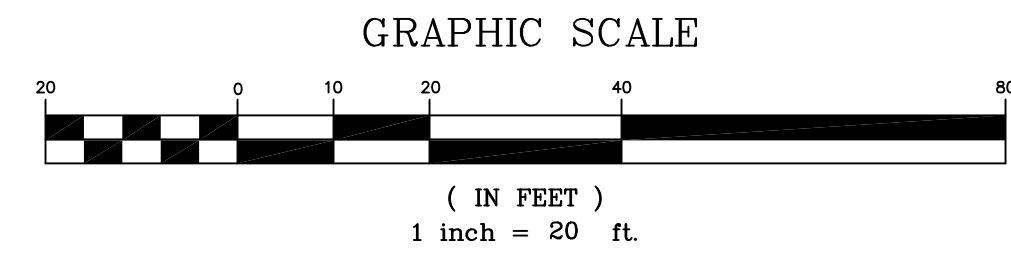
**PROJECT LOCATION:**  
TONTITOWN, AR.

**REVISIONS**

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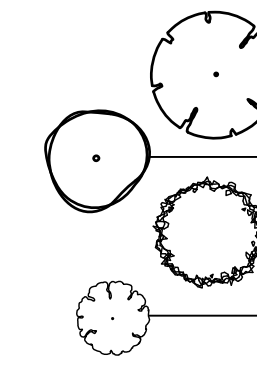
**SHEET TITLE**  
LARGE SCALE DEVELOPMENT & UTILITY PLAN

**SHEET NUMBER**  
C1.01



PLANT LIST

QTY	SYM	COMMON NAME/ BOTANICAL NAME	ROOT	MIN. SIZE	NOTES
12	LP	LONDON PLANE TREE <i>Platanus x acerifolia</i>	B&B	2" CAL.	
6	SM	SUGAR MAPLE <i>Acer saccharum</i>	B&B	2" CAL.	
41	IH	YAUPON HOLLIES <i>Ilex vomitoria 'nana'</i>	CONT.	3 GAL.	
43	AB	DWARF BAREBERRY <i>Berberis thunbergii 'Crimson Pygmy'</i>	CONT.	3 GAL.	



LANDSCAPE REQUIREMENTS

PERIMETER TREES (REAR / SIDES)  
450 LF / 50 = 9 TREES REQUIRED (9 TREES PROVIDED)

STREET TREES:  
1 TREE / 30 LF OF ROW =  
390 LF ROW / 30 =  
13 TREES REQUIRED (13 TREES PROVIDED)

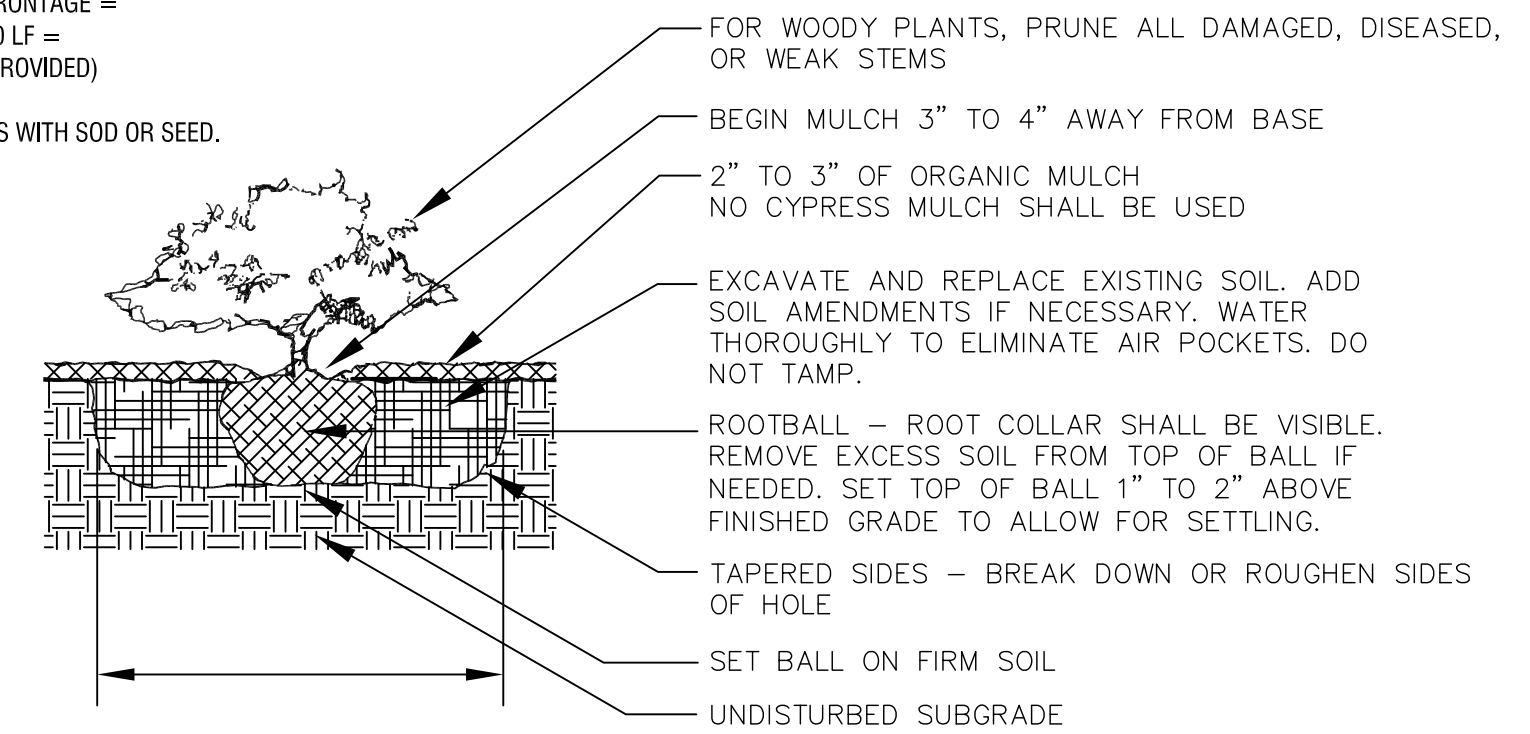
PARKING LOT TREES:  
1 TREE / 15 PARKING SPACES =  
21 PARKING SPACES / 15 =  
2 TREES REQUIRED (2 TREES PROVIDED)

STREET FRONTAGE BUFFER:  
5 SHRUBS / SMALL TREES / 30 LF STREET FRONTAGE =  
394 LF STREET FRONTAGE \* 5 SHRUBS / 30 LF =  
66 SHRUBS / SMALL TREES REQUIRED (66 PROVIDED)

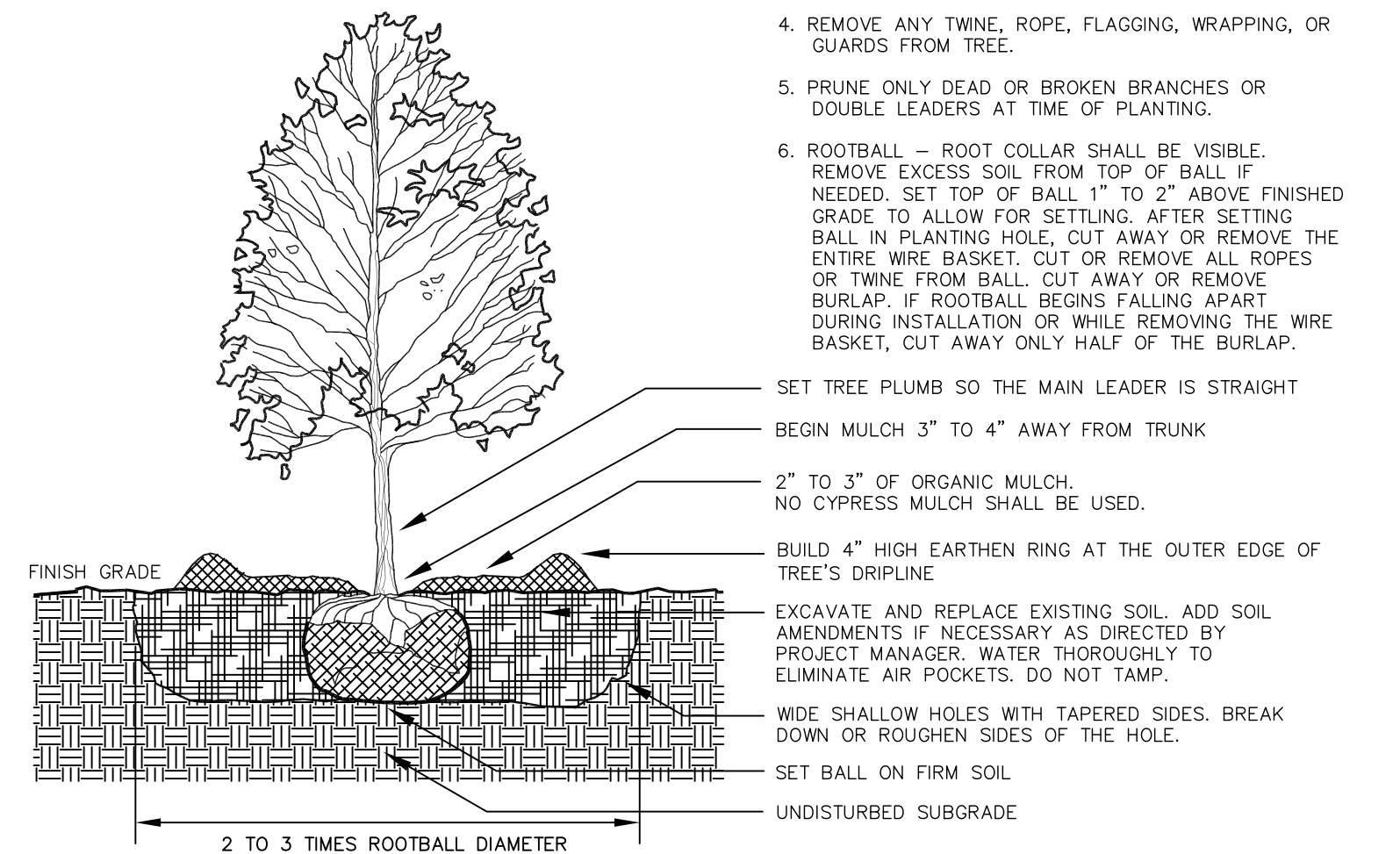
ESTABLISH VEGETATION ON ALL DISTURBED AREAS WITH SOO OR SEED.

PER SECTION 153.212 OF THE CODE OF ORDINANCES FOR THE CITY OF TONTTOWN, THE DEVELOPER GUARANTEES THAT ALL PLANT MATERIALS WILL BE WARRANTED FOR A PERIOD OF THREE YEARS FROM THE TIME OF INSTALLATION. IF ANY OF THE MATERIAL SHOULD FAIL TO SURVIVE DURING THAT PERIOD, IT SHALL BE REPLACED DURING THE APPROPRIATE PLANNING SEASON.

REQUIRED LANDSCAPING SHALL BE IRRIGATED BY AN UNDERGROUND SPRINKLER SYSTEM.



SHRUB PLANTING DETAIL  
NOT TO SCALE



TREE PLANTING DETAIL  
NOT TO SCALE



LEGEND

- FOUND IRON PIN
- SET IRON PIN & CAP
- ⊕ POWER POLE
- ⊕ SEWER MANHOLE
- ⊕ FIRE HYDRANT
- ⊕ WATER METER
- ⊕ EXISTING 8" WATERLINE
- ⊕ EXISTING 8" SEWER LINE
- ⊕ CENTERLINE STREET
- ⊕ BUILDING SETBACK
- ⊕ UTILITY EASEMENT
- ⊕ EXISTING CHAINLINK FENCE
- ⊕ EXISTING SWALE
- ⊕ EXISTING SWALE
- ⊕ STREET FRONTAGE BUFFER
- ⊕ STREET FRONTAGE BUFFER
- ⊕ OVERHEAD ELECTRIC

PROJECT TITLE:  
LARGE SCALE  
DEVELOPMENT FOR  
GREASE MONKEY

PROJECT LOCATION:  
TONTTOWN, AR.

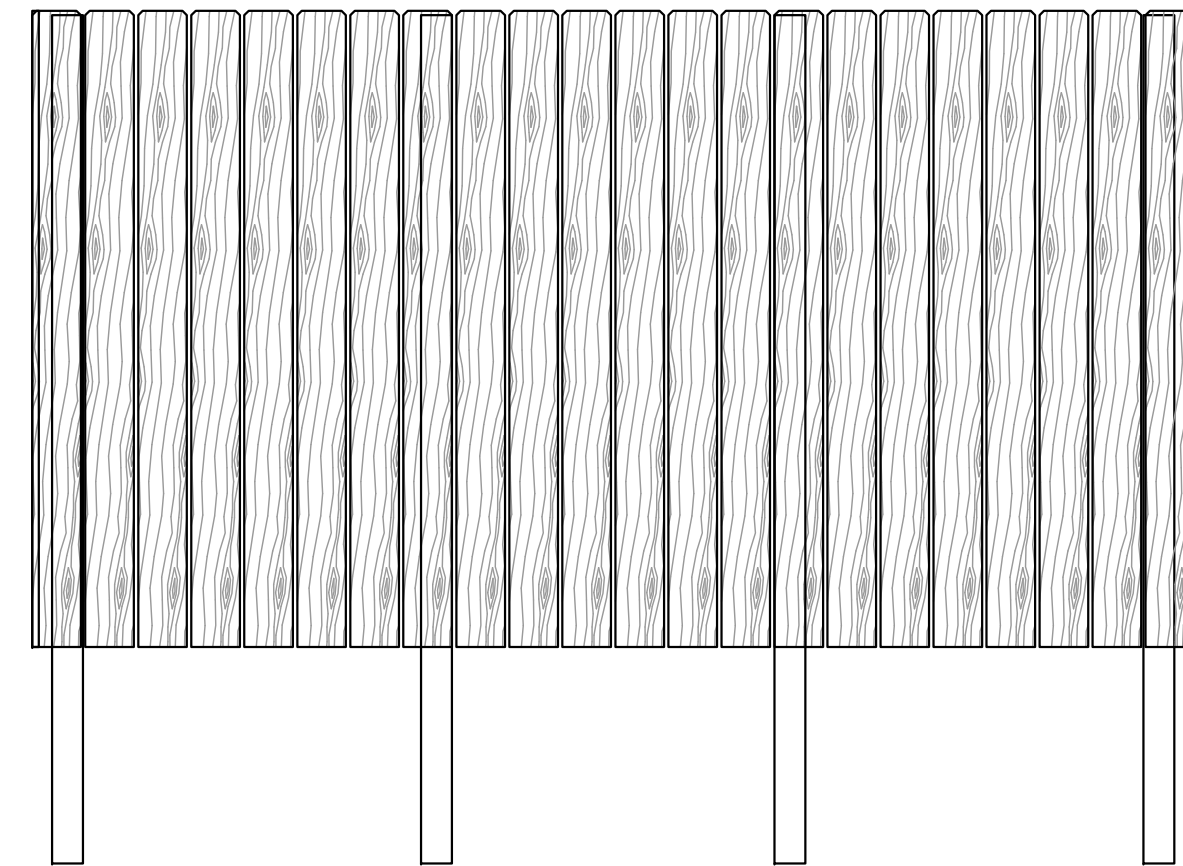
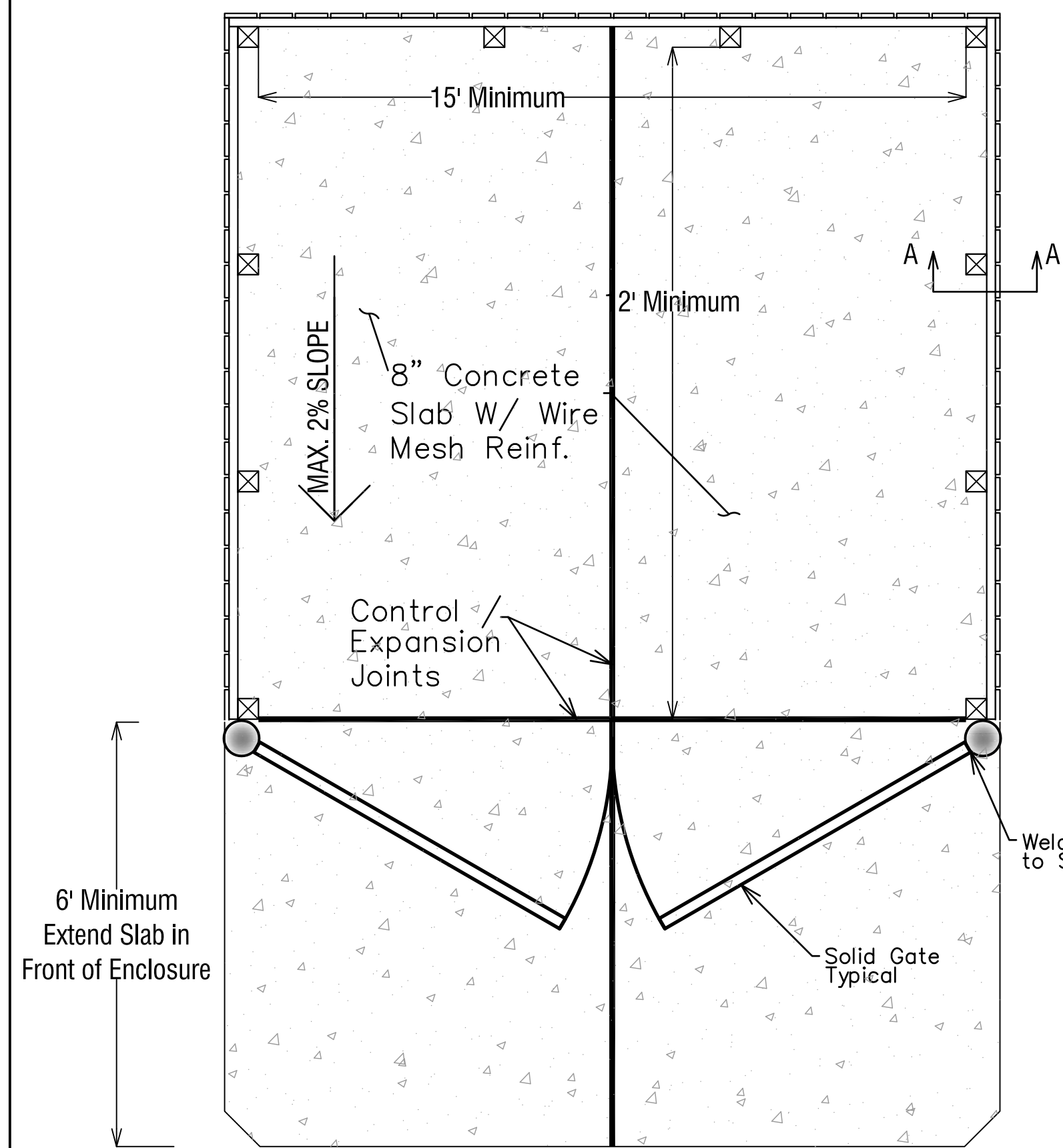
REVISIONS

NO.	DESCRIPTION

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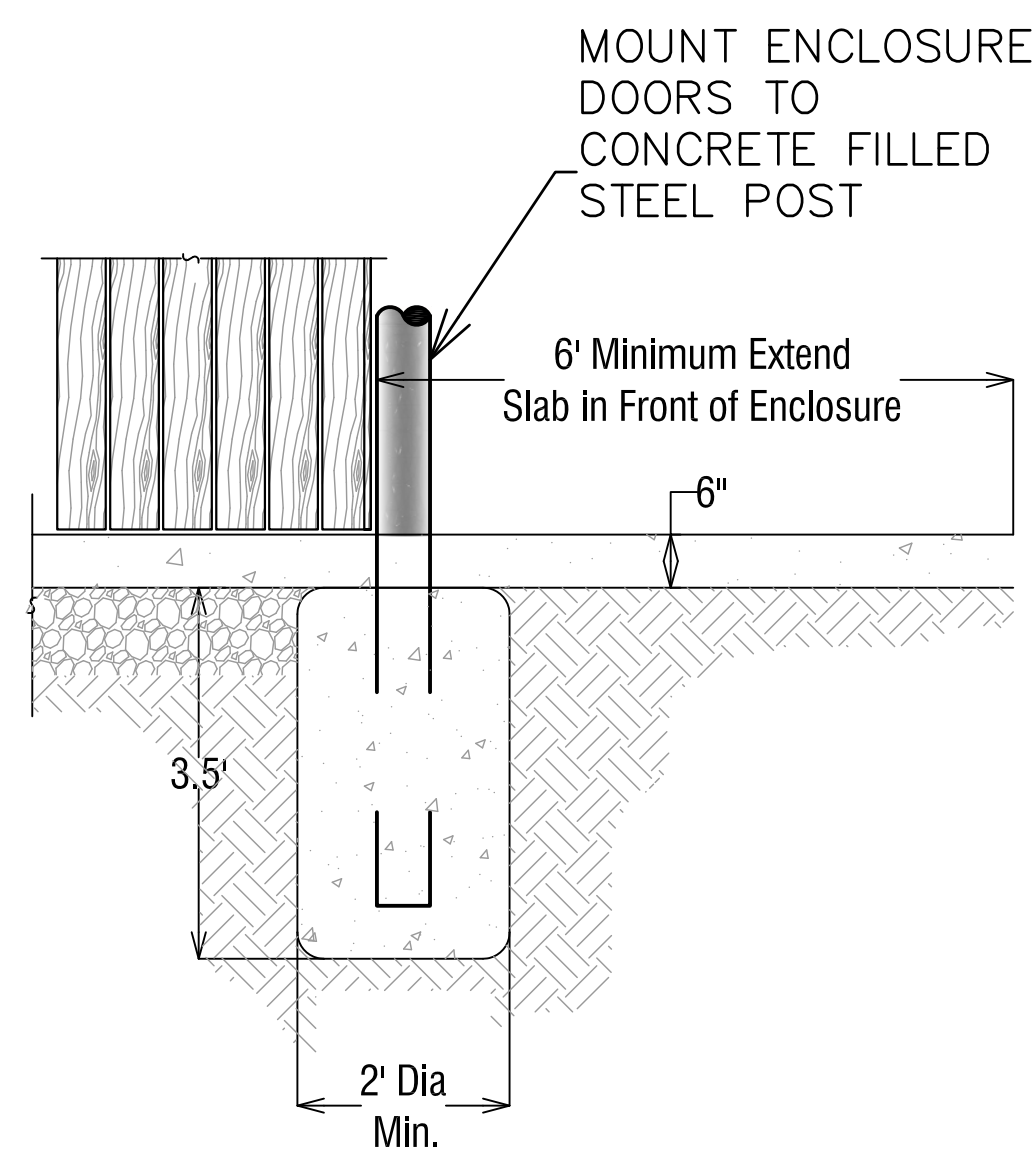
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SHEET NUMBER  
L1.00

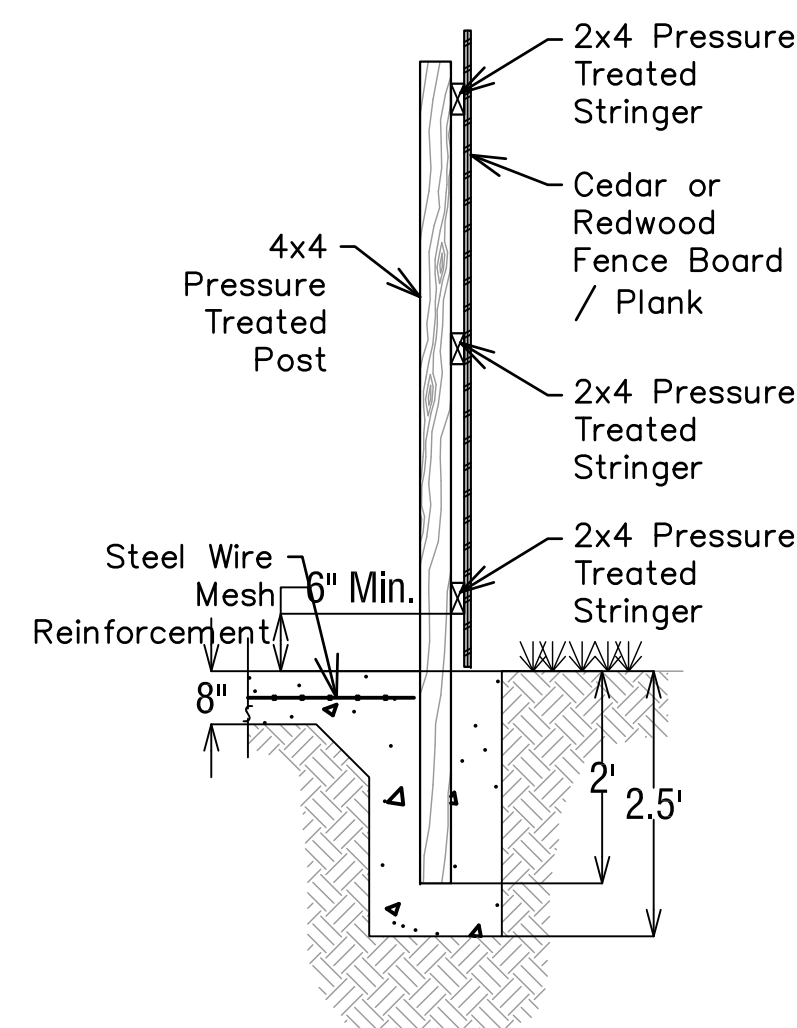


**DUMPSTER ENCLOSURE NOTES**

- 1) GATES ARE TO BE OF SOLID CONSTRUCTION
- 2) DOUBLE SWING GATES SHALL HAVE THE SWIVEL SPOTS OUTSIDE OF THE OPENING AREA OF THE ENCLOSURE. SWIVEL POINTS SHALL BE ATTACHED TO CONCRETE FILLED STEEL POSTS/COLUMNS AT ENDS OF WALLS
- 3) MINIMUM WALL AND GATE HEIGHT TO BE 6'
- 4) CONCRETE SHALL BE AIR-ENTRAINED WITH A MINIMUM COMPRESSIVE STRENGTH OF 3500 PSI
- 5) 8" CONCRETE FLOOT SLAB SHALL BE POURED OVER 4" OF CLASS 7 COMPACTED BASE COURSE COMPACTED TO 95% MAXIMUM DRY DENSITY



**DOOR FOOTING**



**SECTION A-A**

**PRIVACY FENCE TRASH ENCLOSURE**

**LEGEND**

**PROJECT TITLE:**  
 LARGE SCALE DEVELOPMENT FOR GREASE MONKEY  
**PROJECT LOCATION:**  
 TONTITOWN, AR.

**REVISIONS**

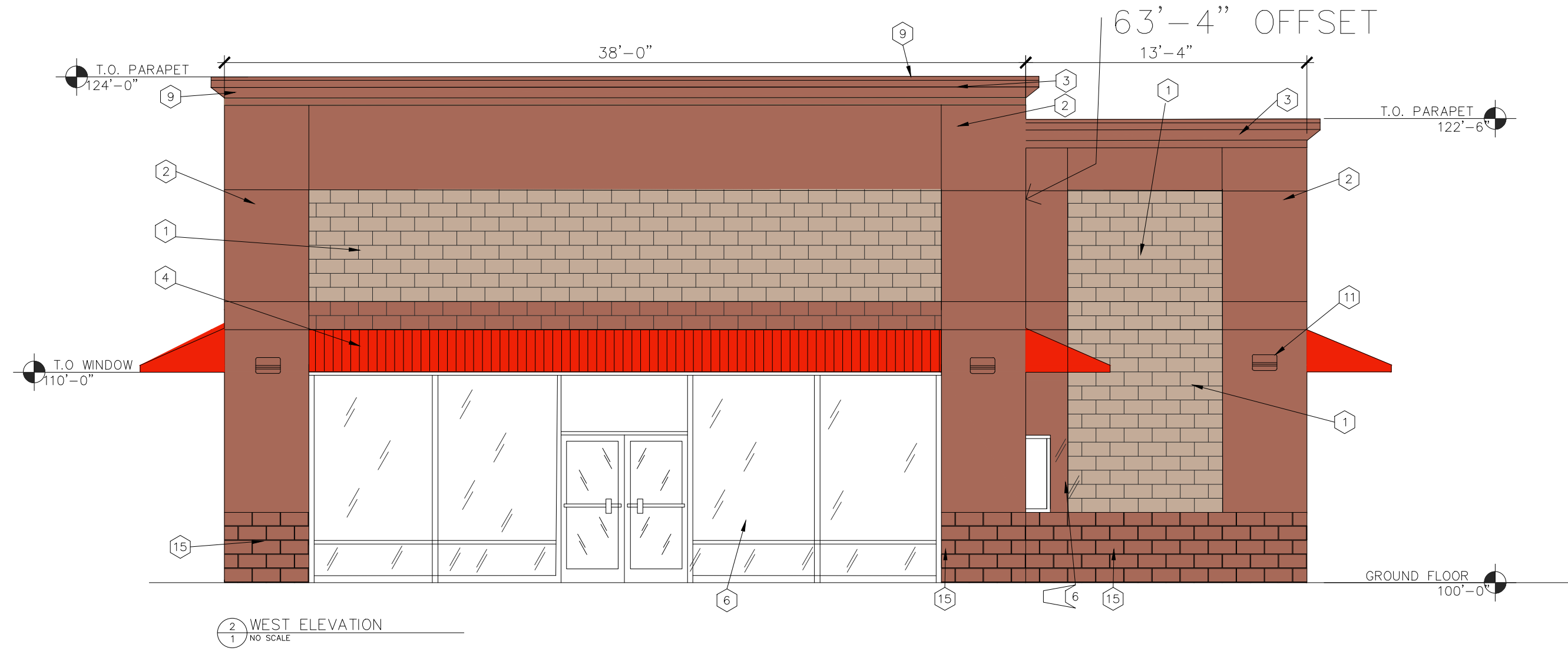
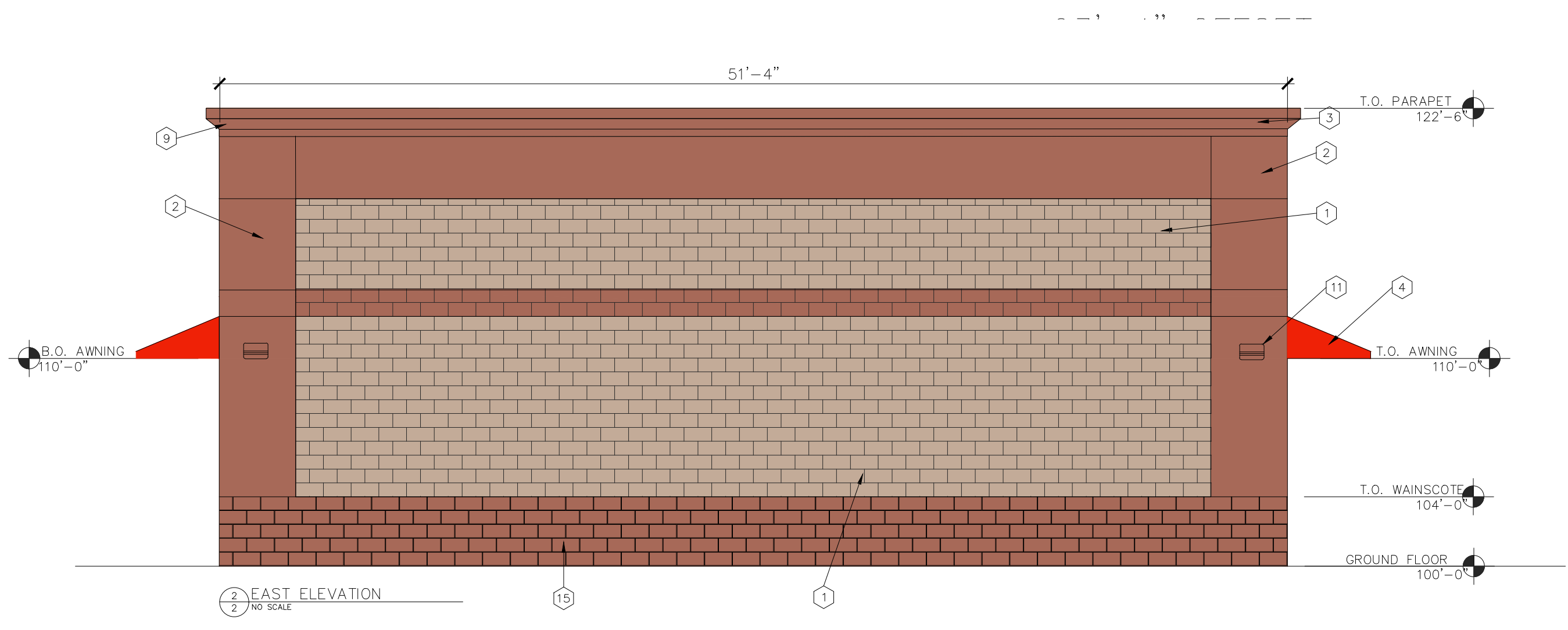
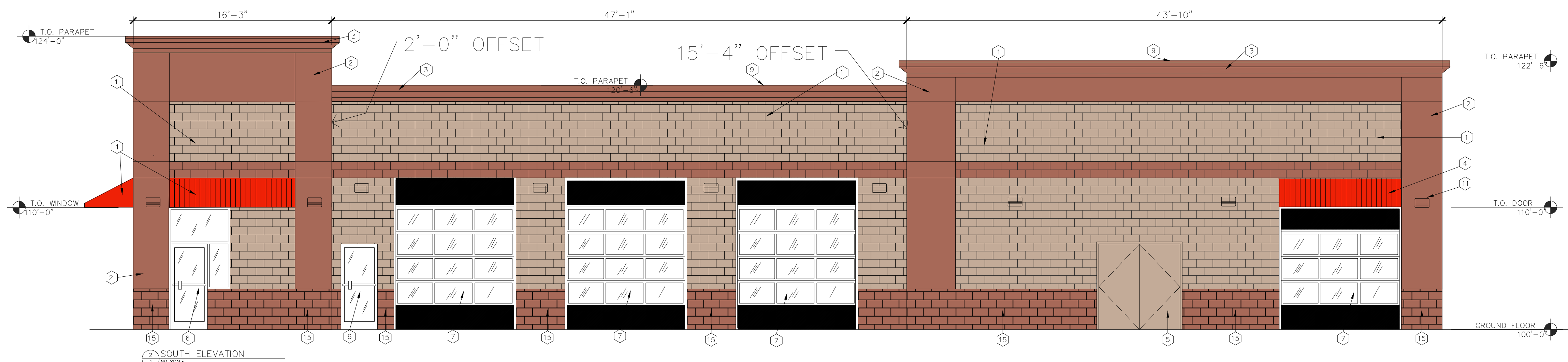
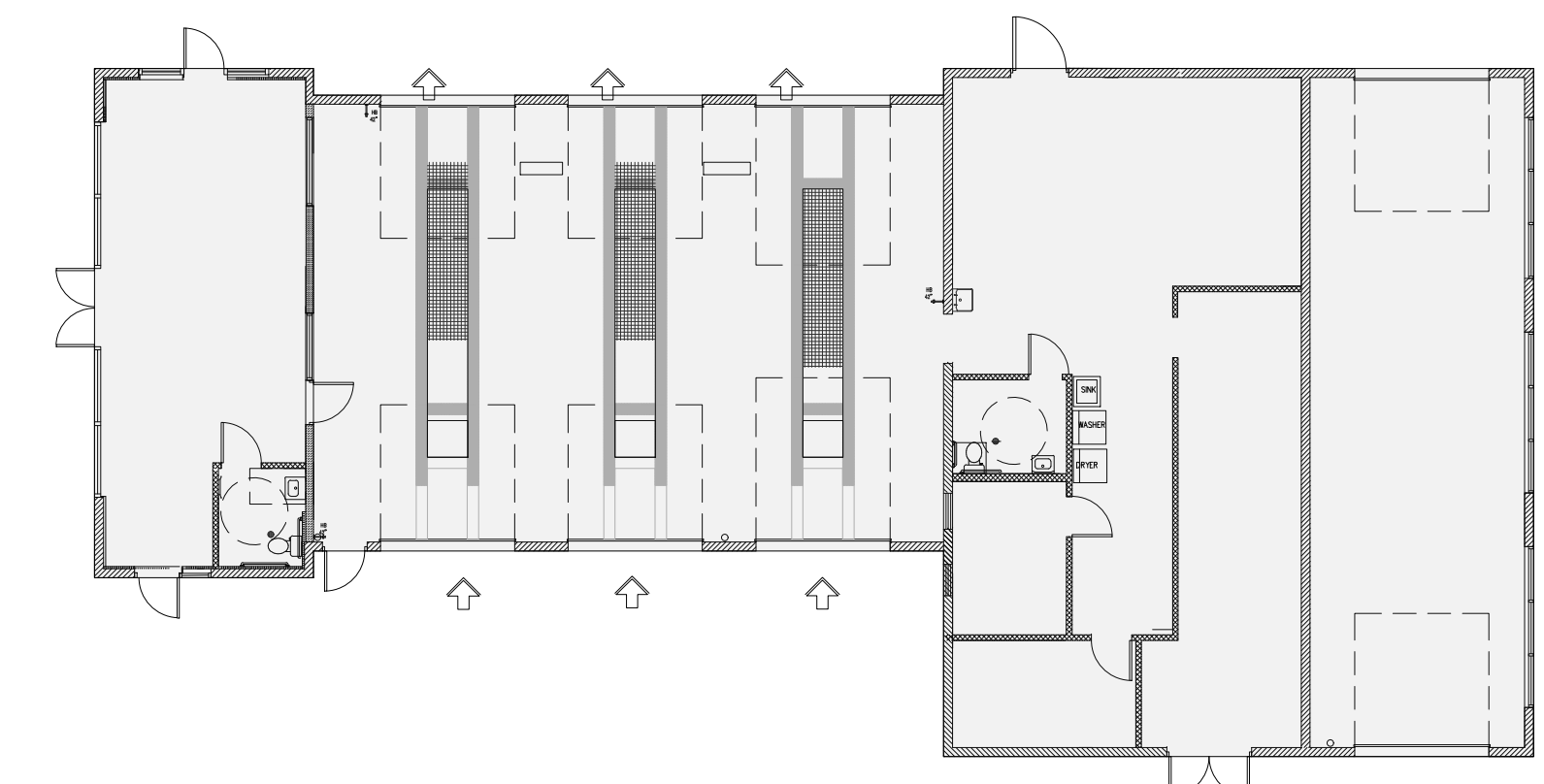
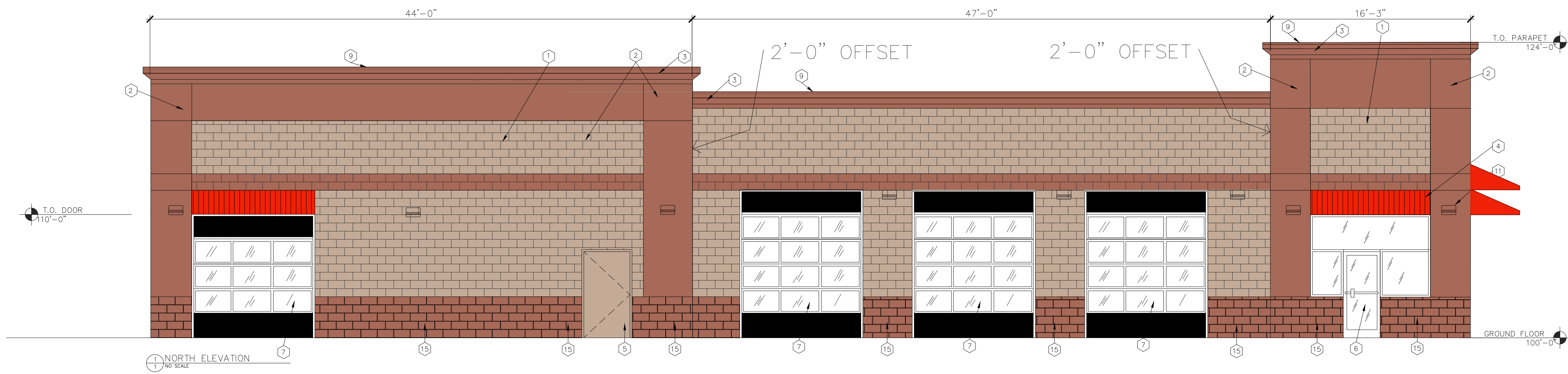
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 SCALE: NTS

**SHEET TITLE**

**STREET DETAILS II**

**SHEET NUMBER**

**C5.02**



**KEYNOTES**

- |  |  |   |
|--|--|---|
| <ul style="list-style-type: none"> <li>1. CONCRETE BLOCK – ABC COMPANY – SMOOTH FACE – CHAMPAGNE COLOR</li> <li>2. EIFS – INTEGRAL COLOR TO MATCH SHERWIN WILLIAMS #6311 – MEMORABLE ROSE</li> <li>3. CORNICE EIFS – COLOR TO MATCH FINISH 2</li> <li>4. MEDAL AWNING – RED</li> <li>5. MTL. MAN DOOR. PAINT TO MATCH MASONRY</li> </ul> | <ul style="list-style-type: none"> <li>6. ALUMINUM/GLASS STOREFRONT– DARK BRONZE ANODIZED ALUMINUM</li> <li>7. ALUMINUM SECTIONAL OVERHEAD DOORS ANODIZED DARK BRONZE ALUMINUM</li> <li>8. INTERNALLY-ILLUMINATED "BRAKES PLUS" SIGNAGE</li> <li>9. METAL FLASHING TO MATCH COLOR OF EIFS CORNICE.</li> <li>10. NOT USED.</li> </ul> | <ul style="list-style-type: none"> <li>11. DECORATIVE LIGHT FIXTURE – SEE ELECT. DRAWING</li> <li>12. KEY DROP BOX</li> <li>13. NOT USED</li> <li>14. NOT USED.</li> <li>15. CONCRETE BLOCK – SPLIT FACE – ABC COMPANY COLOR: ROSE OR RUSTIC RED</li> </ul> |
|--|--|---|

**GREASE MONKEY/CARWASH**  
 HIGHWAY 412 & INDUSTRIAL CIRCLE  
 TONITOWN, AR.

ARCHITECT OF RECORD

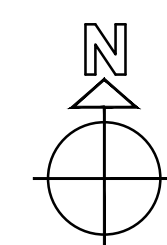
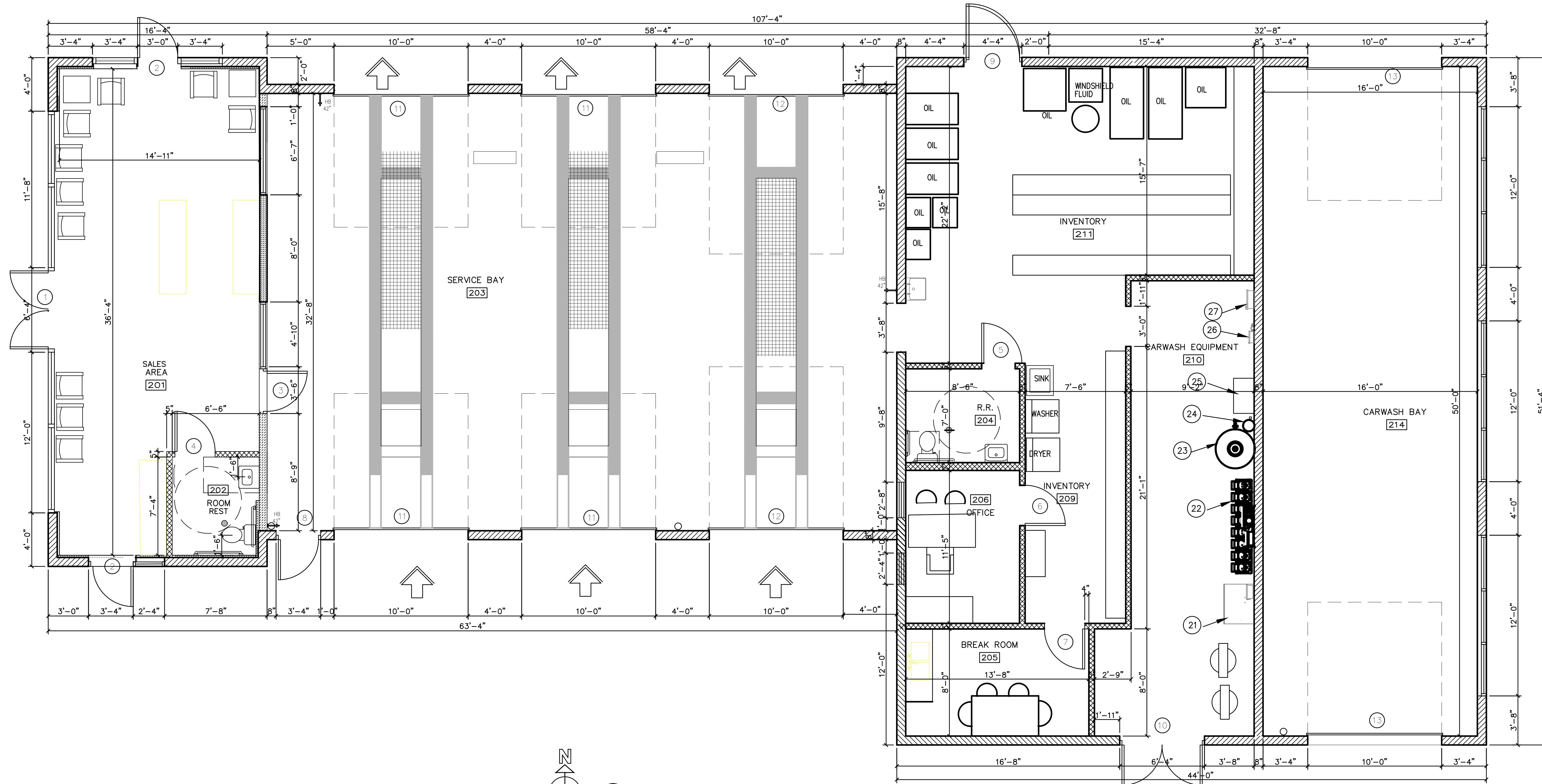
REVISION	DATE	COMMENTS

ARCODEV JOB #:  
 CLIENT JOB #:  
 DRAWN BY: NLH  
 CHECKED BY: NLH  
 DATE OF ISSUE: 12.09.20

**ARCHITECT**  
 NORMAN L. HERMAN  
 5265 RIO GRANDE  
 SUITE 202  
 LITTLETON, CO 80120  
 VOICE: 303.758.9991  
 NORMHERMAN@ARCODEV.COM

SHEET  
 1  
 EXTERIOR ELEVATIONS





**2 FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

**GREASE MONKEY / CARWASH**  
HIGHWAY 412 & INDUSTRIAL CIRCLE  
TONNITTOWN, AR.

**ARCHITECT OF RECORD**

REVISION	DATE	COMMENTS

ARCDEV JOB #: -  
CLIENT JOB #: -  
DRAWN BY: NLH  
CHECKED BY: NLH  
DATE OF ISSUE: 02.15.20

**ARCHITECT**  
**NORMAN L. HERMAN**  
5265 RIO GRANDE  
SUITE 202  
LITTLETON, CO 80120  
VOICE: 303.738.9991  
NORMANHERMANARCHITECT.COM

**SHEET**

A2-1

FLOOR PLAN