



## CITY OF TONTITOWN PLANNING OFFICE

201 E. Henri de Tonti Blvd.  
479-361-2700  
planning@tontitownar.gov

Meeting: **June 22, 2021**  
Project: **Maestri Subdivision**  
Planner: Anthony Apple

### AGENDA ITEM

## 9

### PRELIMINARY LARGE-SCALE DEVELOPMENT PLAN APPROVAL REQUEST

Located south of E. Henri de Tonti Blvd (US412) between Agnes Dr and Albano Dr  
Parcel #s 830-37613-000 and 830-37611-000

**SUMMARY:** The project site is located south of E. Henri de Tonti Blvd (US412) between Agnes Dr and Albano Dr. See Figure 1, Vicinity Map. Mathias Shopping Centers, Inc. is requesting Preliminary Large-Scale Development (LSD) approval for a 10-lot commercial subdivision on the cumulative of Parcel #s 830-37613-000 and 830-37611-000. See Figure 4, Overall Site Plan.

**CURRENT ZONING:** **C-2, General Commercial District.** See Figure 2, Current Zoning Map.

**FUTURE LAND USE CATEGORY:** **RC-C Residential/Commercial Core.** See Figure 3, Future Land Use Map.

**PROPOSED USE:** Commercial development

**CITY WARD:** 1 – Gene McCartney, Position 1 and Amber Ibarra, Position 2

#### INFRASTRUCTURE SERVICE AREAS (not a guarantee of service availability):

**Water:** City of Tontitown.

**Electric:** Ozarks Electric

**Sewer/Septic:** City of Tontitown sewer.

**Phone:** AT&T

**Natural Gas:** Black Hills Energy

**Cable:** Cox Communications

#### PROJECT SYNOPSIS:

The project site is located south of E. Henri de Tonti Blvd (US412) between Agnes Dr and Albano Dr. See Figure 1, Vicinity Map. The project site consists two parcels, 830-37613-000 and 830-37611-000, containing a total of 10.23 acres. See Figure 4, Overall Site Plan. Both parcels are zoned C-2, General Commercial District. See Figure 3, Current Zoning Map.

The land owner is Mathias Shopping Centers, Inc. The owner is proposing to subdivide the 10.23 acres into 10 lots having footprint areas of approximately 1 acre each.

The owner will be constructing a new sanitary sewer trunk line beginning at the northwest corner of Lot 1 and extending southward to the northwest corner of Lot 4. Lot 5 will have access to the existing sewer via a sewer manhole at the center of the south property line of Lot 5. Lot 6 will have access to existing sanitary sewer via a sewer manhole at the southeast corner of Lot 6. See Figure 5: Utility Plan.

The owner will be constructing a new stormwater collection system along the west side of Albano Dr from the southeast corner of Lot 4 northward to the northeast corner of Lot 1. See Figure 5: Utility Plan. The owner will develop each lot to fit the perspective buyer's needs. As part of each lot development, lot specific underground stormwater detention will be constructed at each lot. Each lot's detention facility will discharge into either the existing system on the west side of the project site or the new system on the east side of the project site.

Stormwater erosion control best management practices will be installed prior to construction of the aforementioned infrastructure items. See Figure 6: Erosion Control Plan.

## TECHNICAL INFORMATION:

### Utilities:

**Water:** Tontitown Water - According to the Water System information, there is an existing 8-inch water line along the full-length of the east side of the project site, an existing waterline along the full-length west side of the project site and an existing 8-inch water line along the full-length of the north side of the project site. Existing fire hydrants are located at the southwest corner of Lot 7, the southeast corner of Lot 4, northwest corner of Lot 10 and the northeast corner of Lot 1. To comply with fire code, new fire hydrants will be constructed at the northwest corner of Lot 8 and the northeast corner of Lot 3.

**Electric:** Ozarks Electric – Existing overhead power at the northwest corner of Lot 1. New power is anticipated to be constructed north to south between Lots 1-5 and Lots 6-10 per Ozarks Electric Cooperative comments shown below.



Date: 6/11/2021

City of Tontitown

Name: Maestri Subdivision

#### General Comments:

1. Any relocation of existing facilities or extension of line that has to be built specifically to feed this project will be at full cost to the developer.
2. All property corners and easements must be clearly marked before construction will begin.
3. All off site easements that are needed for Ozarks to extend electrical service to the property must be obtained by developer and easement documentation provided to Ozarks before work begins. On site easements must be shown on plat and recorded with the county.
4. All conduits placed at road crossings by developer must have 48 inch of cover at final grade and marked with post to identify end of conduits. (3 - 4 inch schedule 40 conduits to be used for electric only at all road crossings, conduits must extend past the edge of any obstructions so that they are accessible during construction.) There must be minimum separation of 12 inches between conduits for electric and conduits for other utilities. This is NESC code 354. All conduits for road crossings and specific widths of U.E. must be shown on final plat before Ozarks Electric will sign the final plat.
5. **Transformer must have a minimum of 30 feet clearance from any structure.** Any variation of this requirement must have written approval from an Ozarks representative.
6. Developer will need to contact Ozarks Electric and provide them with electrical load information before any cost to developer can be determined.
7. Developer to provide all trench and PVC conduits including PVC sweeps in accordance with Ozarks specifications. No metal conduit or metal sweeps are to be used.
8. Developer must provide Ozarks Electric with a Digital copy (AutoCAD) of the Final plat as well as a hard copy.
9. All Utility Easements to be cleared of all trees, brush, dirt piles, buildings and debris so that the easement is accessible with equipment. If easement is not cleared developer may be subject to extra charges.
10. Developer or contractor must apply for temporary construction service and permanent service before any design and cost is determined by Ozarks.
11. Please contact Ozarks Electric when construction begins on this project and again when construction is within three months of completion.  
Call Wes Mahaffey At (479)263-2167 [wmahaffey@ozarksecc.com](mailto:wmahaffey@ozarksecc.com)

#### Additional Comments:

12. Could the sewer line be moved to the East or West 4ft. from the center property line?

**Sewer/Septic:** Sewer – Lot 5 will have access to the existing sewer via a sewer manhole at the center of the south property line of Lot 5. Lot 6 will have access to existing sanitary sewer via a sewer manhole at the southeast corner of Lot 6. There is an 8-inch sewer line that runs southward from the manhole at the southeast corner of Lot 6, and an 8-inch sewer line that runs eastward from the existing manhole at the southeast corner of Lot 6.

**Phone:** AT&T - No comments were received from AT&T.

**Natural Gas:** Black Hills Energy - No comments were received from BHE.

**Cable:** Cox Communications - No comments were received from Cox.

It is the applicant's responsibility to coordinate any additional utility easements or connections as needed to service their property.

**School District:** Springdale school district was notified of this project, but submitted no comments.

**Stormwater Pollution Prevention Plan (SWPPP):**

The applicant has provided a grading and erosion control plan. A SWPPP must be completed and posted on site prior to construction.

**Police:**

No comments were submitted.

**Fire:**

Existing fire hydrants are located at the southwest corner of Lot 7, the southeast corner of Lot 4, northwest corner of Lot 10 and the northeast corner of Lot 1. To comply with fire code, a new fire hydrant will need to be constructed at the northwest corner of Lot 8 and the northeast corner of Lot 3. The Fire Marshal provided the following comment:

*"After review of this project, Maestri subdivision, it has been determined two fire hydrants may need to be placed in between hydrants on Agnes and Albano, one on each street. Any structure to be built on the parcels around 2,3, and 8,9 may be beyond the road frontage minimum distance to a hydrant of 250 ft. This value of the distance changes upon building size and construction type requirements. This value is listed from the less restrictive considerations from C105.1 in the Fire Code."*

**Drainage:**

There are existing drainage systems on the west side of the site. As part of each lot development, lot specific underground stormwater detention will be constructed at each lot. Each detention facility will discharge into either the existing system on the west side of the project site or the new system on the east side of the project site. All comments per the City Engineer have been addressed and revised.

**Roads:**

Each lot will have direct access to either Albano Dr or Agnes Dr.

**Planning Comments:** All Planning comments have been addressed.

**STAFF RECOMMENDATION:** Based on the project documents submitted and the intended use of the project site, Staff recommends approval of the Large-Scale Development plan for the Maestri Subdivision.

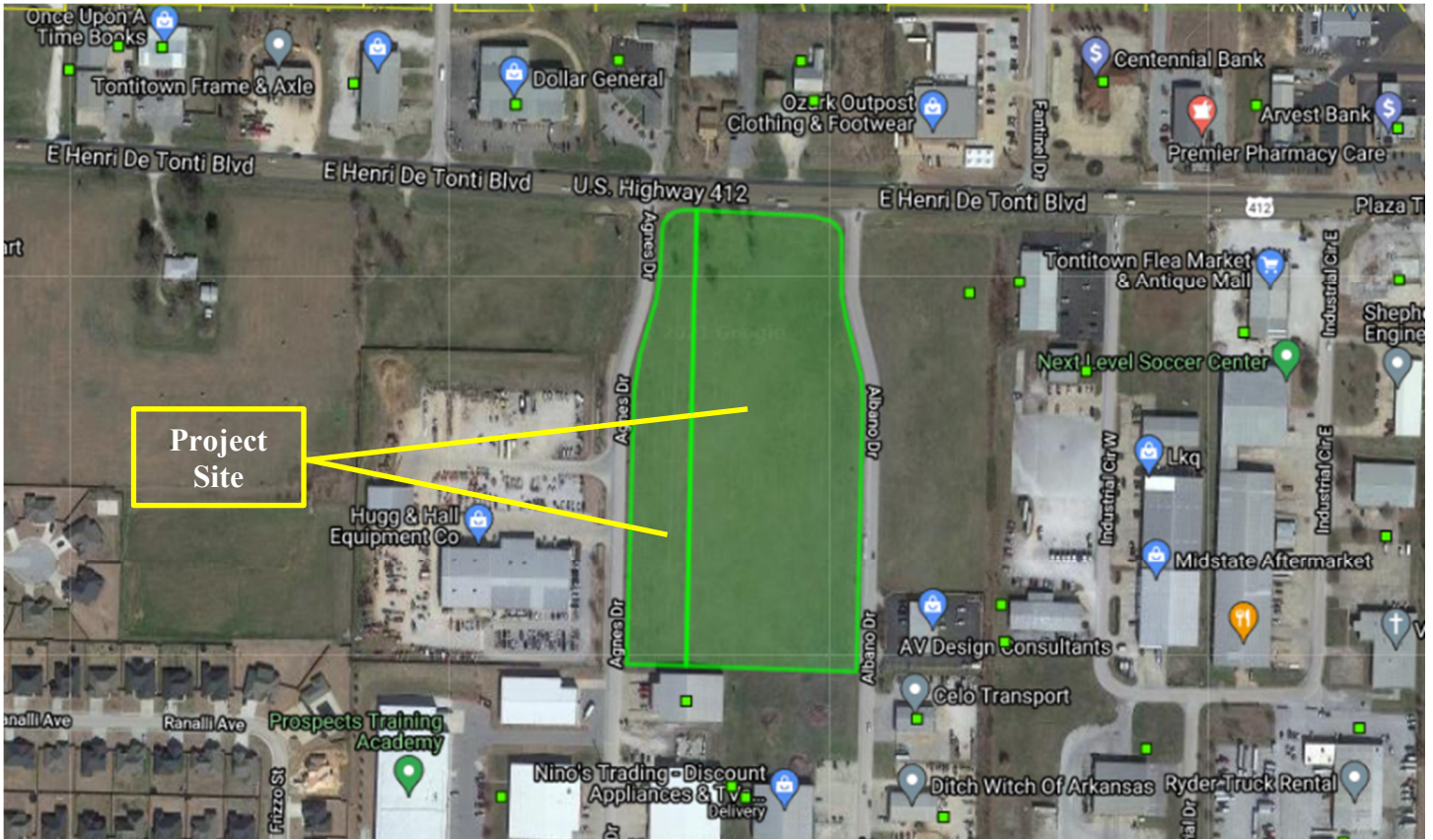


Figure 1: Vicinity Map

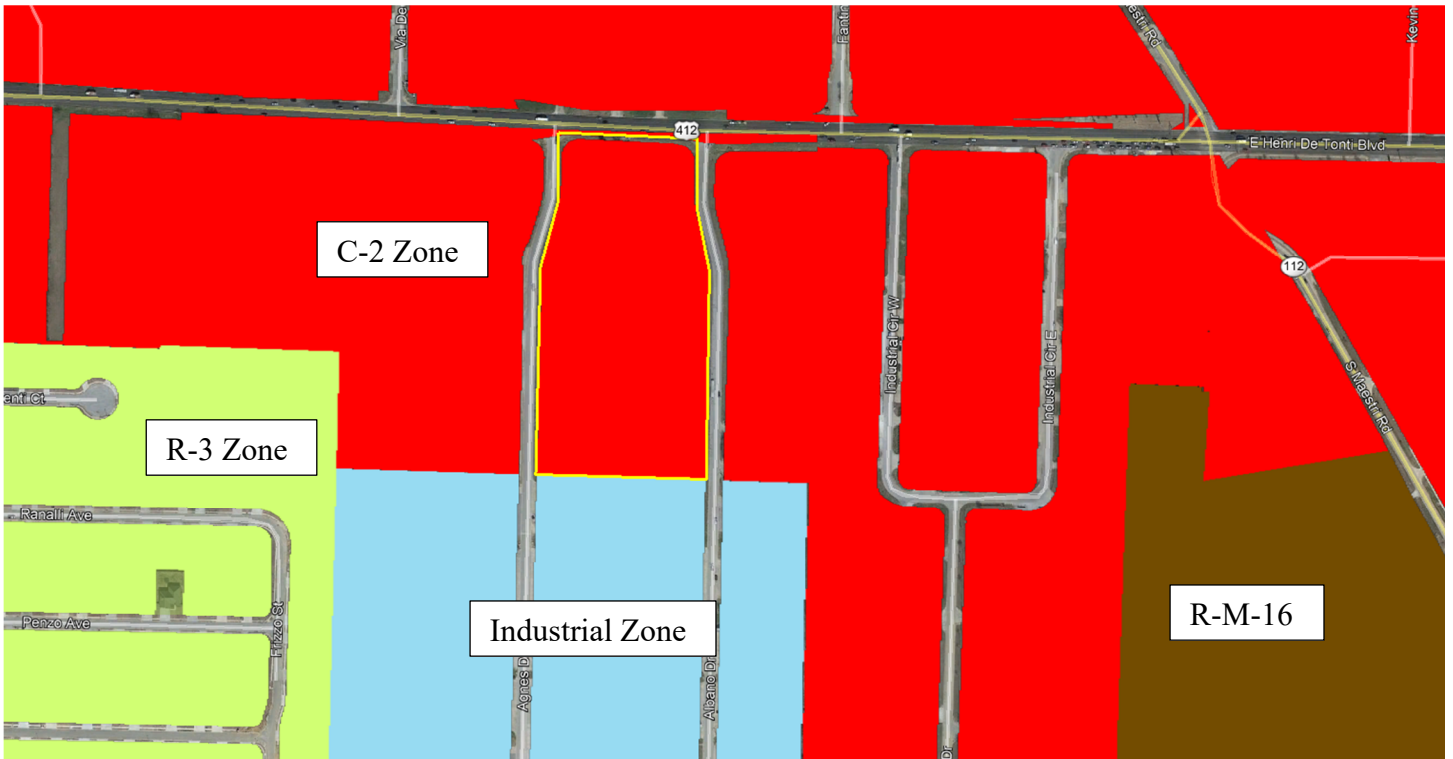


Figure 2: Current Zoning Map



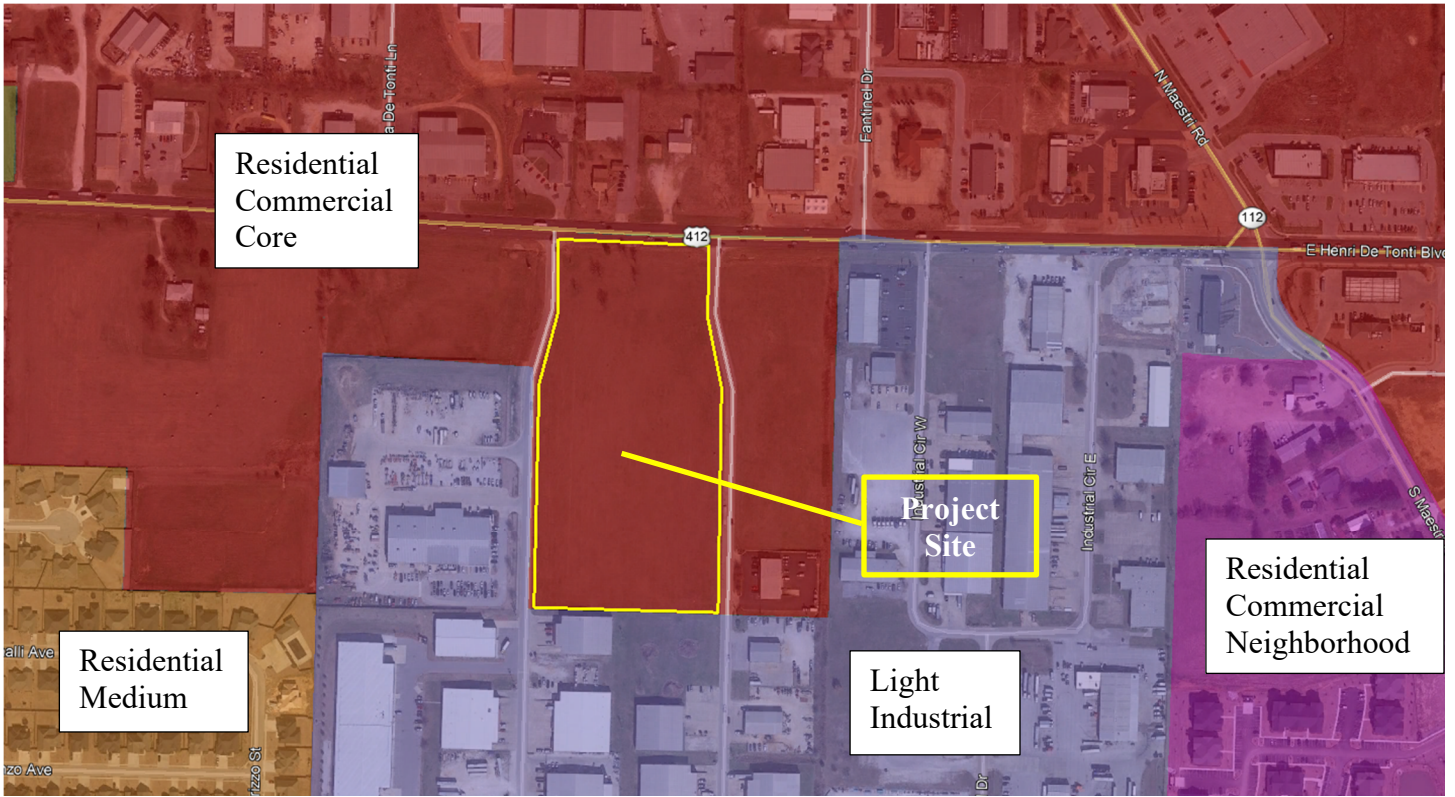
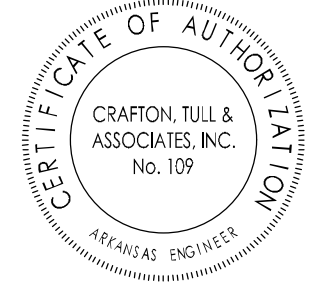
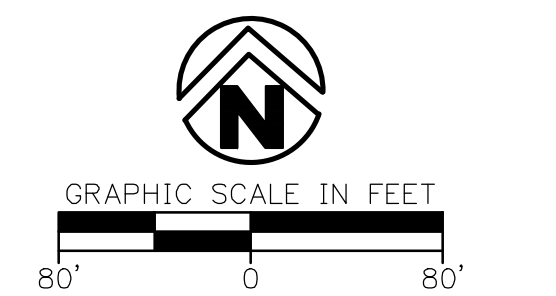


Figure 3: Future Land Use Plan Map

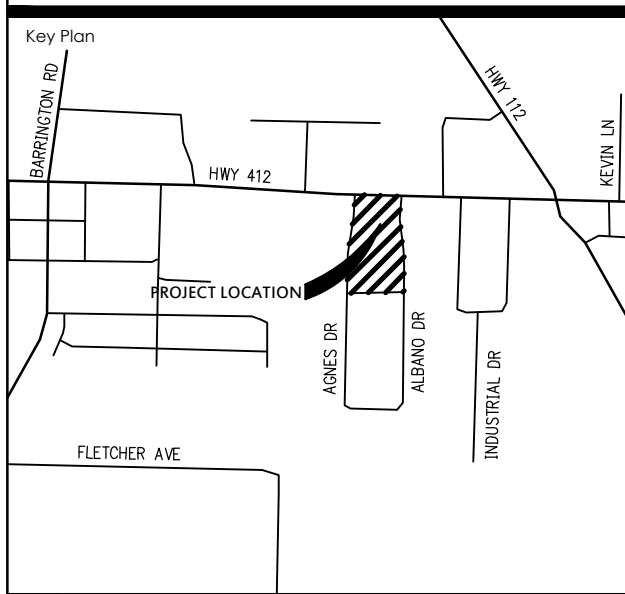




CERTIFICATE OF AUTHORIZATION



**MAESTRI SUBDIVISION**  
TONTITOWN, AR



No.	Description	Date

This document, and the ideas and designs incorporated herein, as an instrument of professional service, is the property of Crafton, Tull & Associates, Inc., and is not to be used, in whole or in part, for any other project, without the written authorization of Crafton, Tull & Associates, Inc.

PROJECT NO: 17103600  
ISSUE DATE: 06/17/21  
CONTACT: C. THREET  
CHECKED BY:   
ISSUED FOR CONSTRUCTION

STATE OF ARKANSAS  
REGISTERED PROFESSIONAL ENGINEER  
No. 19950  
CONNOR THREET

OVERALL SITE PLAN

**LEGEND (EXISTING SYMBOLS)**

SYMBOLS	LINEWORK
○	FOUND IRON PIN
⊙	LIGHT POLE
⊗	POWER POLE
☼	TREE
---	EASEMENT
----	CURB
_____	RIGHT OF WAY
_____	ROAD CENTERLINE

**LEGEND (CONSTRUCT)**

SYMBOLS	LINEWORK
•	SET IRON PIN
---	EASEMENT
_____	RIGHT OF WAY
_____	PROPERTY LINE

**PROJECT INFORMATION**

BUILDING SETBACK:

FRONT	25'
INTERIOR SIDE	10'
STREET SIDE	25'
REAR	25'

SITE AREA: 10.23 AC. (445,618.80 SQ.FT.)  
ZONING: C-2  
PROPERTY USAGE: COMMERCIAL

SITE OWNER: MAESTRI ENTERPRISES LLC  
301 EMERALD POINT DR  
SPRINGDALE, AR 72764-2582

SITE ENGINEER: CRAFTON TULL  
CONNOR THREET P.E.  
300 N COLLEGE AVE., SUITE 317  
FAYETTEVILLE, AR 72701  
479-878-2467

**PROPERTY DESCRIPTION**

DESCRIPTION:  
PART OF THE FRACTIONAL SW 1/4 OF SECTION 6, TOWNSHIP 17 NORTH, RANGE 30 WEST, WASHINGTON COUNTY, ARKANSAS, MORE PARTICULARLY DESCRIBED AS FOLLOWS:  
  
COMMENCING AT THE NORTHEAST CORNER OF THE NE 1/4 OF THE SW 1/4 OF SAID SECTION 6;  
THENCE ALONG THE NORTH LINE THEREOF N87°34'02"W 1069.10 FEET;  
THENCE LEAVING SAID NORTH LINE S02°33'28"W 1012.20 FEET;  
THENCE N87°26'10"W 295.00 FEET TO THE POINT OF BEGINNING;  
THENCE N87°26'10"W 489.88 FEET;  
THENCE N02°32'49"E 585.10 FEET;  
THENCE 73.73 FEET ALONG A CURVE TO THE RIGHT WITH A RADIUS OF 271.92 FEET AND A LONG CHORD OF N11°4'29"E 73.51 FEET;  
THENCE N18°42'59"E 100.12 FEET;  
THENCE 89.10 FEET ALONG A CURVE TO THE LEFT WITH A RADIUS OF 324.92 FEET AND A LONG CHORD OF N10°51'46"E 88.82 FEET;  
THENCE N02°35'44"E 77.57 FEET;  
THENCE 72.55 FEET ALONG A CURVE TO THE RIGHT WITH A RADIUS OF 50.00 FEET AND A LONG CHORD OF N44°09'56"E 66.35 FEET;  
THENCE N86°25'00"E 1.19 FEET;  
THENCE 5.74 FEET ALONG A CURVE TO THE RIGHT WITH A RADIUS OF 50.00 FEET AND A LONG CHORD OF S89°36'49"E 5.74 FEET TO THE SOUTH RIGHT-OF-WAY OF U.S. HIGHWAY 412;  
THENCE ALONG SAID SOUTH RIGHT-OF-WAY S86°19'23"E 269.12 FEET;  
THENCE ALONG SAID SOUTH RIGHT-OF-WAY 24.72 FEET;  
THENCE LEAVING SAID SOUTH RIGHT-OF-WAY 70.82 FEET ALONG A CURVE TO THE RIGHT WITH A RADIUS OF 50.00 FEET AND A LONG CHORD OF S37°59'15"E 65.05 FEET;  
THENCE S02°35'18"W 72.66 FEET;  
THENCE 91.55 FEET ALONG A CURVE TO THE LEFT WITH A RADIUS OF 325.00 FEET AND A LONG CHORD OF S05°30'47"E 91.25 FEET;  
THENCE S13°35'00"E 99.93 FEET;  
THENCE 77.48 FEET ALONG A CURVE TO THE RIGHT WITH A RADIUS OF 275.00 FEET AND A LONG CHORD OF S05°30'47"E 77.22 FEET;  
THENCE S02°33'28"W 575.44 FEET TO THE POINT OF BEGINNING, CONTAINING 10.23 ACRES, MORE OR LESS AND SUBJECT TO ALL EASEMENTS AND RIGHTS OF WAY OF RECORD OR FACT.



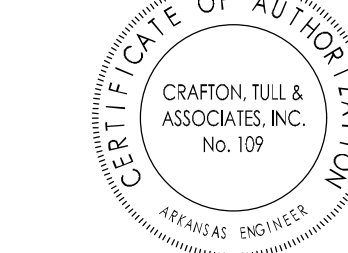
FIGURE 4: OVERALL SITE PLAN

DRAWING CONSULTING: MAHMOUD NABAR, ARCHITECTURE: CHAI DUNG, CIVIL ENGINEERING: LAMAR DAVIS, LANDSCAPE ARCHITECTURE: LAMAR DAVIS, SURVEYING: LAMAR DAVIS, PHOTOGRAPHY: LAMAR DAVIS, VIDEO: LAMAR DAVIS





CERTIFICATE OF AUTHORIZATION



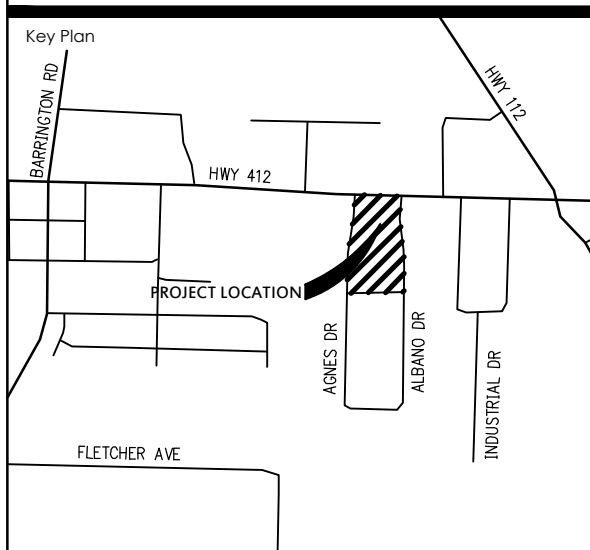
ARIZONA ENGINEER

ARIZONA ENGINEER



GRAPHIC SCALE IN FEET  
60' 0 60'

MAESTRI SUBDIVISION  
TONTITOWN, AR



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PROJECT NO: 17103600  
ISSUE DATE: 06/17/21  
CONTACT: C. THREET  
CHECKED BY:

STATE OF  
ARIZONA  
REGISTERED  
PROFESSIONAL  
ENGINEER  
No. 19950  
CONNOR THREET

ISSUED FOR  
CONSTRUCTION

UTILITY PLAN (C)

C-103

LEGEND (EXISTING SYMBOLS)

SYMBOLS	LINEWORK
○	EASEMENT
⊙	CURB
⊠	SANITARY SEWER LINE
⊡	GAS LINE
○	MANHOLE
△	WATER LINE (SPECIFY SIZE & TYPE)
⊠	STORM SEWER PIPE
⊠	UNDERGROUND TELEPHONE
⊠	UNDERGROUND ELECTRIC
⊠	OVERHEAD ELECTRIC
⊠	UNDERGROUND TELEVISION
⊠	OVERHEAD TELEVISION
⊠	FIBER OPTIC
⊠	RIGHT OF WAY
⊠	ROAD CENTERLINE

LEGEND (CONSTRUCT)

SYMBOLS	LINEWORK
●	EASEMENT
⊙	SANITARY SEWER LINE
⊠	PROPERTY LINE
⊠	
⊠	
⊠	
⊠	
⊠	
⊠	
⊠	

UTILITY NOTES

1. THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED UPON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF EXISTING UTILITIES WITHIN THE WORK ZONE.
2. CONTRACTOR SHALL NOTIFY THE UTILITY AUTHORITIES' INSPECTORS 72 HOURS BEFORE CONNECTING TO ANY EXISTING FACILITIES. CONTRACTOR SHALL COORDINATE AND SCHEDULE TIE-INS/CONNECTIONS WITH ALL UTILITY COMPANIES.
3. ALL UNDERGROUND LINES SHALL BE INSTALLED, INSPECTED, AND APPROVED PRIOR TO BACKFILLING.
4. ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY COMPANIES SHALL BE PERFORMED PRIOR TO ANNOUNCED BUILDING POSSESSION AND THE FINAL CONNECTION OF SERVICE.
5. GENERAL CONTRACTOR IS TO COORDINATE WITH APPROPRIATE UTILITY COMPANIES PRIOR TO CONSTRUCTION, ADJUSTMENT, OR RELOCATION OF EXISTING UTILITIES.
6. THRUST BLOCKING SHALL BE PROVIDED AT ALL BENDS, TEES, AND FIRE HYDRANTS.
7. DIMENSIONS SHOWN ARE TO CENTERLINE OF PIPE OR FITTING.
8. MINIMUM HORIZONTAL SEPARATION BETWEEN WATERLINES AND SANITARY/STORM SEWERS SHALL BE AT LEAST TEN FEET. WHERE WATERLINES CROSS SANITARY SEWERS THE WATERLINE SHALL BE PLACED ABOVE THE SEWER WITH A MINIMUM VERTICAL SEPARATION, OUTSIDE-TO-OUTSIDE, OF 18". IF IT IS NOT POSSIBLE TO CONFORM TO THESE DIMENSIONS OR DEFINED PLACEMENT, THE WATERLINE SHALL BE ENCASED IN WATERTIGHT PIPE WITH SEALED WATERTIGHT ENDS EXTENDING AT LEAST TEN FEET EITHER SIDE OF THE CROSSING.
9. THE CONTRACTOR SHALL INCLUDE IN THE BID PRICE ALL MATERIAL AND LABOR ASSOCIATED WITH THE TESTING OF THE WATER AND SEWER LINES REQUIRED BY THE LOCAL AND/OR STATE AGENCIES.
10. TOPS OF EXISTING MANHOLES SHALL BE RAISED AS NECESSARY TO BE FLUSH WITH FINISHED PAVEMENT ELEVATIONS, AND MANHOLES IN UNPAVED AREAS TO BE 1" ABOVE FINISHED GROUND ELEVATIONS WITH WATER TIGHT LIDS.
11. ALL TRENCHING, PIPE LAYING, AND BACKFILLING SHALL BE IN ACCORDANCE WITH FEDERAL REGULATIONS.
12. REFER TO BUILDING PLANS FOR SITE LIGHTING AND ELECTRICAL PLAN.
13. ALL MATERIALS, CONSTRUCTION, AND INSPECTION FOR WATER AND SANITARY SEWER LINES SHALL BE PER THE SPECIFICATIONS OF THE APPROPRIATE AGENCY.
14. THE CONTRACTOR SHALL COORDINATE WITH THE FIRE DEPARTMENT AND THE WATER COMPANY TO PLAN THE IMPROVEMENTS TO THE WATER MAINS AND TO ENSURE ADEQUATE FIRE PROTECTION IS CONSTANTLY AVAILABLE TO THE SITE THROUGHOUT THE PROJECT. CONTRACTOR WILL BE RESPONSIBLE FOR ARRANGING ANY REQUIRED WATER MAIN SHUT-OFFS WITH THE WATER COMPANY DURING CONSTRUCTION. ALL COSTS ASSOCIATED WITH WATERMAIN SHUT-OFFS WILL BE THE RESPONSIBILITY OF THE CONTRACTOR; NO ADDITIONAL COMPENSATION WILL BE PROVIDED.
15. DAMAGE TO ALL EXISTING FACILITIES DESIGNATED TO REMAIN WILL BE REPLACED AT CONTRACTOR'S EXPENSE.
16. CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF VESTIBULES, SLOPE PAVING, SIDEWALKS, EXIT PORCHES, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS, AND EXACT UTILITY ENTRANCE LOCATIONS.
17. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TAP AND TIE IN FEES REQUIRED AS WELL AS COSTS OF UNDERGROUND SERVICE CONNECTIONS TO THE BUILDING.
18. GENERAL CONTRACTOR SHALL PROVIDE ALL CONDUITS AS SHOWN ON THE PLANS, VERIFY LOCATION OF UTILITY TIE-INS, AND PROVIDE NYLON PULL CORDS INSIDE THE CONDUIT.
19. THE CONTRACTOR SHALL INCLUDE IN BID PRICE THE DAILY RECORD KEEPING OF THE RECORD CONDITION OF ALL OF THE UNDERGROUND UTILITIES, CONSTRUCTION STAKE-OUT, PREPARATION OF THE NECESSARY/REQUIRED WATER AND SEWER RECORD DRAWINGS TO BE SUBMITTED, AND ALL OTHER INFORMATION REQUIRED FOR OBTAINING PERMITS AND RELEASE OF BONDS.
20. ENERGIIZED ELECTRICAL LINE SAFETY WARNINGS AND ADVANCED NOTICES: ALL OWNERS, GENERAL CONTRACTORS, AND SUBCONTRACTORS ASSOCIATED WITH THIS PROJECT SHALL BE RESPONSIBLE FOR FAMILIARIZING THEMSELVES WITH, COMPLYING WITH, AND THE ENFORCEMENT OF ARKANSAS CODES AR ST § 11-5-307 AND § AR ST 11-5-308 AND ANY OTHER CURRENT STATE CODES PERTAINING TO ADVANCE NOTICE REQUIREMENTS AND FOR SAFETY OF ALL PERSONNEL, INCLUDING THE GENERAL PUBLIC, PERTAINING TO ANY WORK, MOVEMENT, AND ACTIVITY IN CLOSE PROXIMITY TO ANY ENERGIIZED ELECTRICAL LINE.
21. ANY UTILITY STRUCTURES OR APPURTENANCES SHOWN HEREON ARE FROM A FIELD INVESTIGATION LIMITED TO THE VISIBLE SURFACE OF THE PROPERTY SURVEYED.

E HENRI DE TONTI BLVD  
(HWY 412)

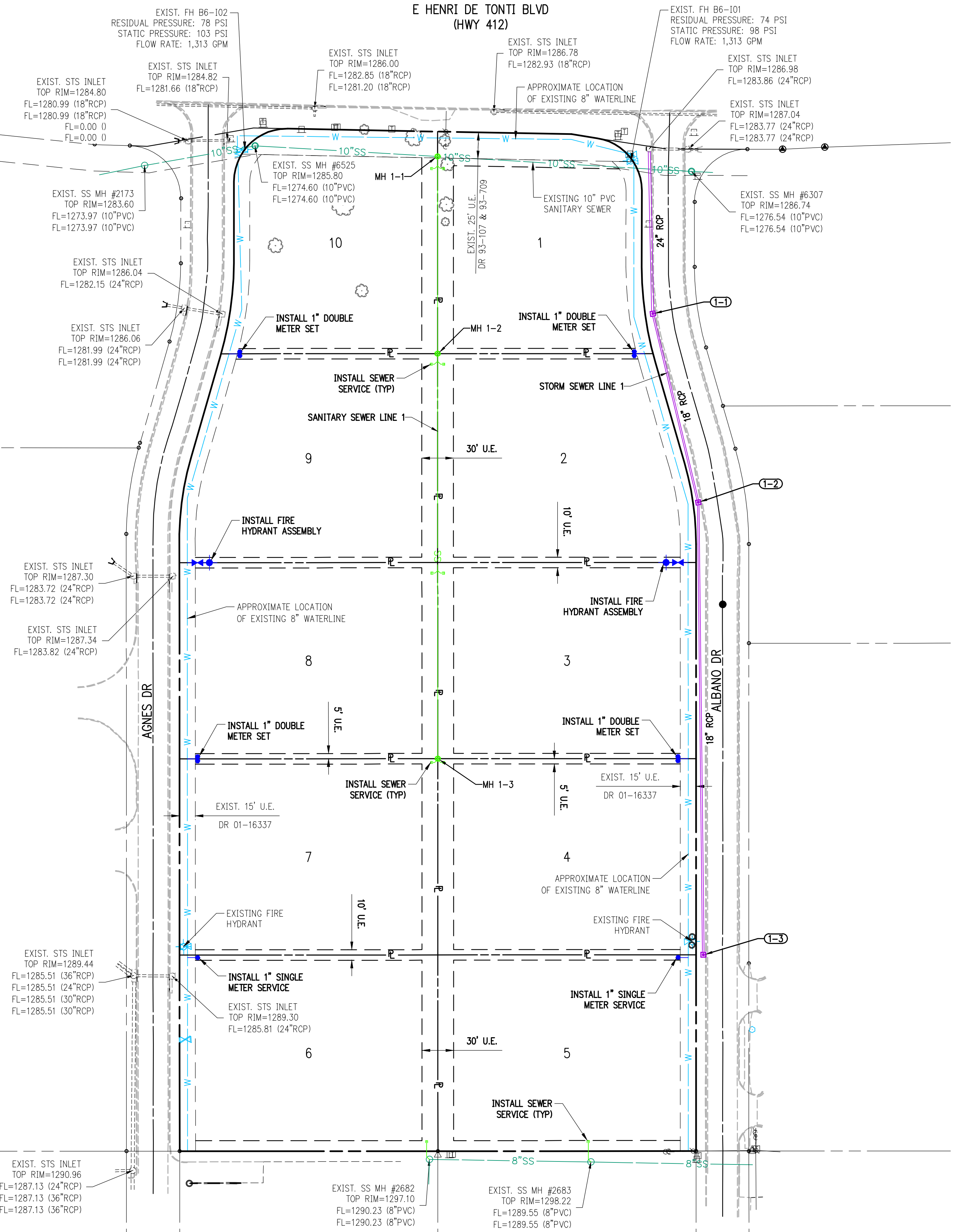


FIGURE 5: UTILITY PLAN

DRAWING CONSULTING: MAHARAJA ARCHITECTURE CONSULTING UTILITY PLAN/ISSUE DATE: 06/17/21, LAST SAID/DONE: 06/17/21, 4:17 PM, 4:17:28 PM, 4:17:30 PM, 4:17:32 PM, 4:17:34 PM, 4:17:36 PM, 4:17:38 PM, 4:17:40 PM, 4:17:42 PM, 4:17:44 PM, 4:17:46 PM, 4:17:48 PM, 4:17:50 PM, 4:17:52 PM, 4:17:54 PM, 4:17:56 PM, 4:17:58 PM, 4:18:00 PM, 4:18:02 PM, 4:18:04 PM, 4:18:06 PM, 4:18:08 PM, 4:18:10 PM, 4:18:12 PM, 4:18:14 PM, 4:18:16 PM, 4:18:18 PM, 4:18:20 PM, 4:18:22 PM, 4:18:24 PM, 4:18:26 PM, 4:18:28 PM, 4:18:30 PM, 4:18:32 PM, 4:18:34 PM, 4:18:36 PM, 4:18:38 PM, 4:18:40 PM, 4:18:42 PM, 4:18:44 PM, 4:18:46 PM, 4:18:48 PM, 4:18:50 PM, 4:18:52 PM, 4:18:54 PM, 4:18:56 PM, 4:18:58 PM, 4:19:00 PM, 4:19:02 PM, 4:19:04 PM, 4:19:06 PM, 4:19:08 PM, 4:19:10 PM, 4:19:12 PM, 4:19:14 PM, 4:19:16 PM, 4:19:18 PM, 4:19:20 PM, 4:19:22 PM, 4:19:24 PM, 4:19:26 PM, 4:19:28 PM, 4:19:30 PM, 4:19:32 PM, 4:19:34 PM, 4:19:36 PM, 4:19:38 PM, 4:19:40 PM, 4:19:42 PM, 4:19:44 PM, 4:19:46 PM, 4:19:48 PM, 4:19:50 PM, 4:19:52 PM, 4:19:54 PM, 4:19:56 PM, 4:19:58 PM, 4:20:00 PM



E HENRI DE TONTI BLVD  
HWY 412 (R/W VARIES)

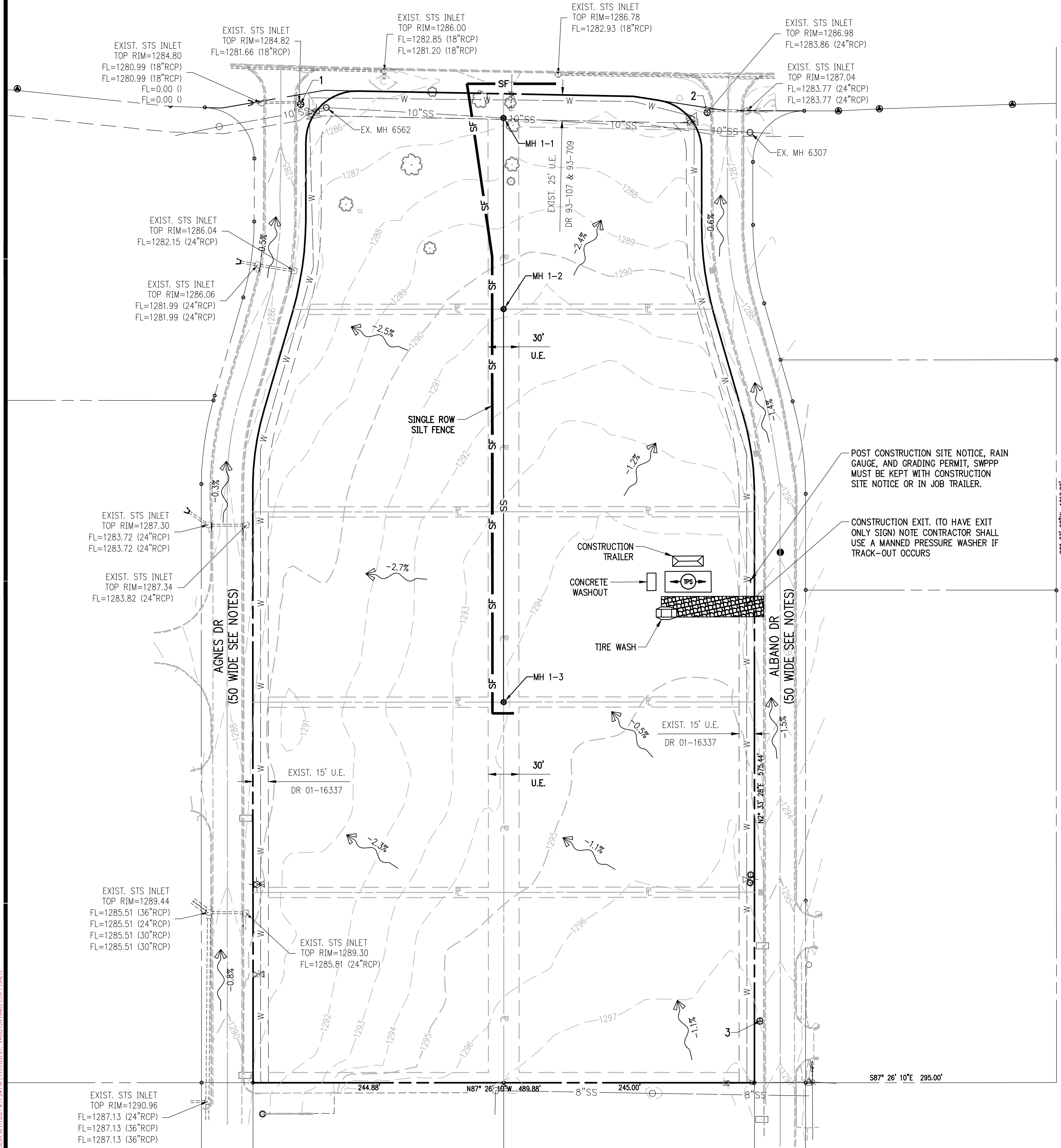


FIGURE 6: EROSION CONTROL PLAN

**SITE STABILIZATION AND CERTIFICATION**

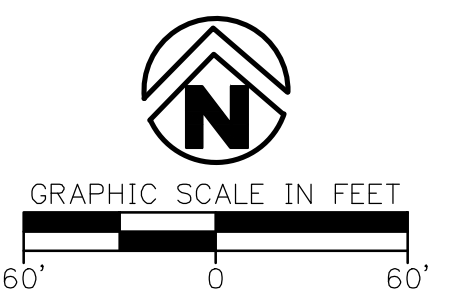
CRAFTON TULL CANNOT CERTIFY THE SITE AS COMPLETE IN ORDER TO OBTAIN THE CERTIFICATE OF OCCUPANCY UNTIL ALL DISTURBED AREAS RELATED TO THE CONSTRUCTION OF THE PROJECT, BOTH ONSITE AND OFFSITE, HAVE BEEN STABILIZED PER THE PLANS AND SPECIFICATIONS AND ALL REQUIREMENTS SPELLED OUT IN PERMITS ISSUED BY THE STATE AND LOCAL AUTHORITIES HAVE BEEN MET.

**EROSION CONTROL LEGEND**

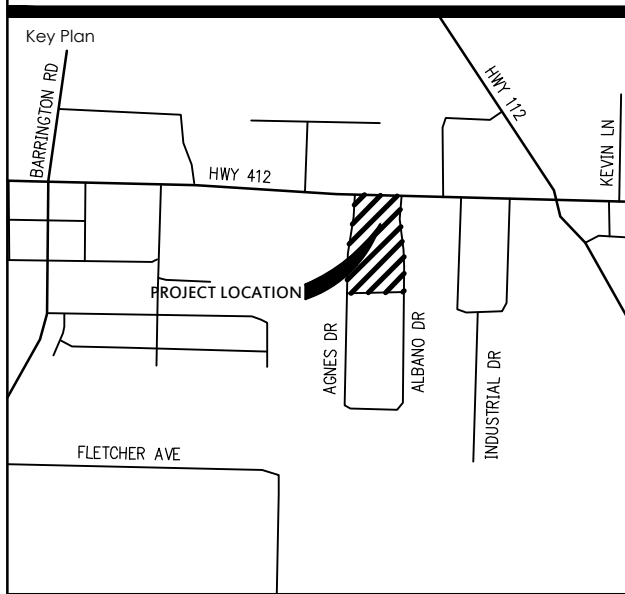
PS PERMANENT SEEDING	CD ROCK CHECK DAM
TPS TEMPORARY PARKING AND STORAGE	CE STABILIZED CONSTRUCTION EXIT (ENTRANCE)
BOUNDARY LINE	DD CHANNLED DIVERSIONS
RIGHT OF WAY LINE	DS DEWATERING SYSTEM / STRUCTURE
LIMITS OF DISTURBANCE	SF SILT FENCE
GRADE BREAK	ST SEDIMENT BASIN WITH STONE OUTLET
CONTOUR ELEVATIONS	IP1 BLOCK AND AGGREGATE INLET SEDIMENT DEVICE
STORM DRAIN	IP2 CURB INLET GRAVEL SEDIMENT FILTER
DIRECTION OF OVERLAND FLOW W/ GRADE	IP3 GRATED INLET GRAVEL SEDIMENT FILTER
LIMITS OF DRAINAGE SUB-BASIN	IP4 SILT FENCE INLET PROTECTION
RPS RIP RAP SLOPE PROTECTION (SEE SIZE THIS SHEET)	
ECL PERMANENT EROSION CONTROL LINING	
SB TEMPORARY SEDIMENT BASIN	

NOTE: SEE SITE PLAN FOR EXISTING LEGEND SYMBOLS

NOTE:  
1. DURING WATER METER INSTALLATION IF WORK IS NOT COMPLETED WITHIN THE DAY, COVER DIRT PILE AND SURROUND WITH STRAW WATTLE. PLEASE WATTLE ALONG THE CURB AND ALONG THE DOWNHILL SIDE OF THE EXCAVATION.  
2. UPON COMPLETION, PERMANENTLY SEED AND MULCH DISTURBED AREAS TO STABILIZE



MAESTRI SUBDIVISION  
TONTITOWN, AR



No.	Description	Date

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EROSION CONTROL PLAN