

NOTES:

- REVIEW OF THESE PLANS IS LIMITED TO COMPLIANCE WITH CITY CODES AND REGULATIONS. BY REVIEWING AND APPROVING THESE PLANS THE REVIEWER AND THE CITY OF TONTITOWN ASSUME NO RESPONSIBILITY FOR ANY ERRORS OR OMISSIONS IN THE PLANS. THE ADEQUACY OF THE PLANS IS THE SOLE RESPONSIBILITY OF THE DESIGN ENGINEER. THE CITY OF TONTITOWN, HOWEVER, RESERVES THE RIGHT TO REQUIRE CORRECTIVE ACTION IF ANY INADEQUACIES ARE FOUND AFTER THE APPROVEMENTS ARE CONSTRUCTED.
- TO OUR KNOWLEDGE, THERE ARE NO KNOWN GROUND LEASES OR ACCESS AGREEMENTS ON-SITE.
- THERE ARE NO POTENTIALLY DANGEROUS AREAS, OR AREAS SUBJECT TO FLOODING THAT WILL REQUIRE HAZARD MITIGATION.

CONSTRUCTION NOTES

- CONTRACTOR SHALL RETAIN A FULL SET OF THE LATEST APPROVED CONSTRUCTION PLANS ON SITE DURING CONSTRUCTION ACTIVITIES.
- COORDINATE START-UP AND ALL CONSTRUCTION ACTIVITIES WITH THE DEVELOPER'S RESIDENT REPRESENTATIVE.
- CONSTRUCTION METHODS AND MATERIALS NOT SPECIFIED IN THESE PLANS ARE TO MEET OR EXCEED THE SITING SPECIFICATIONS PROVIDED BY EXPEDIENT CIVIL ENGINEERING, PLLC OR AS SPECIFIED BY THE DEVELOPER'S RESIDENT REPRESENTATIVE.
- ALL CONSTRUCTION WORK AND UTILITY WORK OUTSIDE OF PROPERTY BOUNDARIES SHALL BE PERFORMED IN COOPERATION WITH AND IN ACCORDANCE WITH REGULATIONS OF THE AUTHORITIES CONCERNED.
- PUBLIC CONVENIENCE AND SAFETY:**
THE CONTRACTOR SHALL CONDUCT THE WORK IN A MANNER THAT WILL ENSURE, AS FAR AS PRACTICABLE, THE LEAST OBSTRUCTION TO TRAFFIC AND SHALL PROVIDE FOR THE CONVENIENCE AND SAFETY OF THE GENERAL PUBLIC AND RESIDENTS ALONG AND ADJACENT TO HIGHWAYS IN THE CONSTRUCTION AREA IN AN ADEQUATE AND SATISFACTORY MANNER IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) FOR STREETS AND HIGHWAYS AND THE ARKANSAS DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION, LATEST EDITION.
- PAVING NOTES:**
 - ASPHALT CONCRETE SURFACE SHALL BE TYPE 2 PER SECTION 407 AND BASE COURSE MATERIALS SHOULD MEET OR EXCEED THE REQUIREMENTS SPECIFIED IN THE ARKANSAS DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION, LATEST EDITION.
 - AN INDEPENDENT TESTING LABORATORY, SELECTED AND PAID BY THE CONTRACTOR, APPROVED BY THE DEVELOPER, SHALL BE RETAINED TO PERFORM CONSTRUCTION TESTING OF IN-PLACE ASPHALT CONCRETE COURSES FOR COMPLIANCE WITH REQUIREMENTS FOR THICKNESS AND SURFACE SMOOTHNESS REQUIREMENTS AS SPECIFIED IN THE CONSTRUCTION SPECIFICATIONS.
- CONCRETE NOTES:**
 - CONCRETE PAVING AND STRUCTURES SHOULD CONFORM TO THE ARKANSAS DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION, LATEST EDITION.
 - AN INDEPENDENT TESTING LABORATORY, SELECTED AND PAID BY THE CONTRACTOR, APPROVED BY THE DEVELOPER, SHALL BE RETAINED TO PERFORM CONSTRUCTION TESTING OF CONCRETE FOR COMPLIANCE WITH CONCRETE STRENGTH REQUIREMENTS AS SPECIFIED IN THE CONSTRUCTION SPECIFICATIONS.
 - VERTICAL CONCRETE SURFACES EXPOSED TO THE GENERAL PUBLIC SHALL BE MET-RUBBED TO A SMOOTH FINISH AFTER FORMS HAVE BEEN REMOVED. HORIZONTAL SURFACES SHALL BE BROOMED AS REQUIRED IN THE CONSTRUCTION PROJECT SPECIFICATIONS.
 - CONTRACTOR IS TO PROVIDE WEAKENED-PLANE (CONSTRUCTION) JOINTS, SECTIONING CONCRETE INTO AREAS AT 10-FOOT ON CENTERS, MAXIMUM EACH WAY. CONSTRUCT WEAKENED-PLANE JOINTS FOR A DEPTH EQUAL TO AT LEAST 1/4" CONCRETE THICKNESS. CONTRACTOR IS TO FURNISH JOINT FILLERS APPROVED BY THE DEVELOPER'S CONSTRUCTION DIVISION OR AS DETAILED ON PLANS.
- UTILITY NOTES:**
 - CONSTRUCTION SHALL NOT START ON ANY PUBLIC UTILITY SYSTEM UNTIL WRITTEN APPROVAL HAS BEEN RECEIVED FROM TONTITOWN WATER AND SEWER, AND THE CONTRACTOR HAS BEEN NOTIFIED BY EXPEDIENT CIVIL ENGINEERING, PLLC.
 - CONTRACTOR SHALL NOT OPEN, TURN OFF, INTERFERE WITH, OR ATTACH ANY PIPE OR HOSE TO OR TAP ANY WATER MAIN BELONGING TO TONTITOWN WATER AND SEWER UNLESS DULY AUTHORIZED TO DO SO BY THE CITY. ANY ADVERSE CONSEQUENCES OF ANY SCHEDULED OR UNSCHEDULED DISRUPTIONS OF SERVICE TO THE PUBLIC ARE TO BE THE LIABILITY OF THE CONTRACTOR. EXPEDIENT CIVIL ENGINEERING, PLLC AND THE DEVELOPER ARE TO BE HELD HARMLESS.
 - DISINFECTION AND PRESSURE TESTING OF WATER LINES SHALL BE PERFORMED AND PAID FOR BY THE CONTRACTOR UNDER SUPERVISION OF A REPRESENTATIVE OF TONTITOWN WATER AND SEWER AND A REPRESENTATIVE OF EXPEDIENT CIVIL ENGINEERING, PLLC. CONTRACTOR SHALL NOTIFY EXPEDIENT CIVIL ENGINEERING, PLLC AT LEAST ONE WEEK IN ADVANCE, PRIOR TO ANY TESTING.
 - ALL WATER AND SEWER MAINS THAT ARE TO BE PUBLIC LINES SHALL BE CONSTRUCTED IN ACCORDANCE WITH TONTITOWN WATER AND SEWER STANDARD SPECIFICATIONS DATED 06/25/2018 AND THE ARKANSAS STATE HEALTH DEPARTMENT STANDARD SPECIFICATIONS, AND SHALL BE INSPECTED BY THE UTILITY INSPECTOR & EXPEDIENT CIVIL ENGINEERING, PLLC.
- BLASTING AND EXPLOSIVE MATERIALS:**
 - THE CONTRACTOR IS SUBJECT TO ALL FEDERAL, STATE AND LOCAL REGULATIONS GOVERNING THE USE AND STORAGE OF EXPLOSIVE MATERIALS AND IS RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS AND LICENSES.
 - EXPEDIENT CIVIL ENGINEERING, PLLC ACCEPTS NO RESPONSIBILITY OR LIABILITY PERTAINING TO STORAGE, USE, METHODS, PROCEDURES, SAFETY PRECAUTIONS, TECHNICAL SPECIFICATIONS, CONCERNING BLASTING AND EXPLOSIVE MATERIALS. THE CONTRACTOR SHALL HOLD THE OWNER, ENGINEER, AND THEIR ASSOCIATES HARMLESS WITH REGARD TO BLASTING AND EXPLOSIVE MATERIALS.

PAM TRUCKING SCHOOL 294 & 296 W. BANDINI AVE TONTITOWN, ARKANSAS 72762



VICINITY MAP
NOT TO SCALE



RESOURCE LIST		
NAME	ADDRESS	TELEPHONE
DEVELOPER SSI, INC	400 JEAN MARY AVE SPRINGDALE, AR 72762	(479) 414-5667
BLACK HILLS ENERGY MR. JOSH KNIGHT JOSHUA.KNIGHT@BLACKHILLSCORP.COM	1301 FEDERAL WAY PO BOX 2129 LOWELL, ARKANSAS 72745	(479) 333-7005
AT&T MR. LAYNE RHODES	1133 E. HAROLD ST FAYETTEVILLE, ARKANSAS 72703	(479) 571-6609
TONTITOWN PLANNING MR. BRAD SPURLOCK	PO BOX 305 TONTITOWN, AR 72770	(479) 435-8080
COX COMMUNICATIONS MR. CHAD HODGE & TIMOTHY GOSS	4901 S. 48TH STREET SPRINGDALE, ARKANSAS 72752	0404(479) 263-7070 0404(479) 263-7070 TM(479) 891-0980 TM(479) 891-0980
OZARKS ELECTRIC COOPERATIVE	3641 WEDGTON DRIVE FAYETTEVILLE, AR 72704	(479) 521-2900
TONTITOWN WATER UTILITIES	201 E HENRI DE TONTI BLVD TONTITOWN, AR 72762	(479) 361-2996
UTILITY LOCATIONS ARKANSAS ONE-CALL SYSTEM, INC.		1-800-482-8998

VARIANCE REQUEST:

OFF-STREET PARKING 153.210(A)(4)(A) ON-SITE, EXCEPT AS OTHERWISE SPECIFICALLY PROVIDED, REQUIRED OFF-STREET PARKING AND LOADING SPACES SHALL BE LOCATED ON THE SAME LOT AS THE PRINCIPAL USE.

REASON:

STUDENTS AND STAFF WILL PARK AT THE CORPORATE OFFICE AND BE ESCORTED TO THE CLASSROOM BY GOLF CART OR OTHER SMALL SITE VEHICLE. DUE TO THE AMOUNT OF SEMI TRUCKS PARKED FOR SERVING, STACKING 20-30 PERSONAL VEHICLES WOULD INTERFERE WITH THEIR INGRESS/EGRESS AND SERVE AS A DETRIMENT TO THE MECHANIC'S DAY-TO-DAY OPERATIONS.

SHEET INDEX

No.	DESCRIPTION	PLOT DATE	
		No.	DATE
C1.0	COVER SHEET	1	7/11/2023
C2.0	SURVEY SHEET	1	7/11/2023
C3.0	DEMO AND SWPPP PLAN	1	7/11/2023
C4.0	SITE PLAN	1	7/11/2023
C4.1	PARKING ANALYSIS	1	7/11/2023
C5.0	GRADING PLAN	1	7/11/2023
C6.0	UTILITY PLAN	1	7/11/2023
C7.0	DETAILS SHEET	1	7/11/2023
L1.0	LANDSCAPE PLAN	1	7/11/2023
L1.1	LANDSCAPE PLAN	1	7/11/2023
L1.2	LANDSCAPE PLAN	1	7/11/2023

CERTIFICATE OF PRELIMINARY ENGINEERING ACCURACY

I, _____, HEREBY CERTIFY THAT THIS PLAN CORRECTLY REPRESENTS A PLAN PREPARED UNDER MY DIRECTION AND ENGINEERING REQUIREMENTS OF THE TONTITOWN SUBDIVISION REGULATIONS HAVE BEEN COMPLETED WITH.

REGISTERED ENGINEER
STATE OF ARKANSAS REGISTRATION NO. _____

CERTIFICATE OF OWNERSHIP:

WE, THE UNDERSIGNED, OWNERS OF THE REAL ESTATE SHOWN AND DESCRIBED HEREIN, DO HEREBY CERTIFY THAT WE HAVE LAD OFF, PLATTED, AND SUBDIVIDED AND DO HEREBY LAY OFF, PLAT, SUBDIVIDE SAID REAL ESTATE IN ACCORDANCE WITH THIS PLAN AND DO HEREBY DEDICATE TO THE USE OF THE PUBLIC THE STREETS, ALLEYS, DRIVES, AND EASEMENTS AS SHOWN ON SAID PLAT.

DATE OF EXECUTION: _____
SIGNED: _____

NAME & ADDRESS:
SOURCE OF TITLE: D.R. _____ PAGE _____

CERTIFICATE OF SURVEYING ACCURACY

I, _____, HEREBY CERTIFY THAT THIS PLAT CORRECTLY REPRESENTS A BOUNDARY SURVEY MADE BY ME AND BOUNDARY MARKERS AND LOT CORNERS SHOWN HEREON ACTUALLY EXIST AND THEIR LOCATION, TYPE AND MATERIAL ARE CORRECTLY SHOWN AND ALL MINIMUM REQUIREMENTS OF THE ARKANSAS MINIMUM STANDARDS FOR LAND SURVEYORS HAVE BEEN MET.

DATE OF EXECUTION: _____
SIGNED: _____

REGISTERED LAND SURVEYOR
STATE OF ARKANSAS REGISTRATION NO. _____

CERTIFICATE OF APPROVAL

PURSUANT TO THE CITY OF TONTITOWN SUBDIVISION REGULATIONS AND ALL OTHER CONDITIONS AND APPROVALS HAVING BEEN COMPLETED, THIS DOCUMENT IS HEREBY ACCEPTED. THIS CERTIFICATE IS HEREBY EXECUTED UNDER THE AUTHORITY OF THE SAID RULES AND REGULATIONS.

THIS APPROVAL DOES NOT GUARANTEE ANY OF THE FOLLOWING:
1. DELIVERY OF PUBLIC WATER OR SEWER SERVICE.
2. DELIVERY OF ANY OTHER UTILITY SERVICE.
3. IMPROVEMENTS TO ANY AFFECTED CITY STREETS OR COUNTY ROADS.
4. APPROVAL FROM THE ARKANSAS DEPARTMENT OF HEALTH.
5. ACCESS TO THE PROPERTY VIA EASEMENTS OR OTHERWISE EITHER KNOWN OR UNKNOWN.

DATE OF EXECUTION: _____
SIGNED: _____

CHAIRMAN, TONTITOWN PLANNING COMMISSION

SIGNED: _____
MAYOR, CITY OF TONTITOWN

SIGNED: _____
CLERK--TREASURER, CITY OF TONTITOWN



Date: 7/11/2023
Comments: PER CITY COMMENTS

Rev: 1

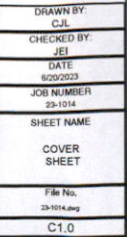
PAM TRUCKING SCHOOL
TONTITOWN, ARKANSAS
842 HENRI DE TONTI BLVD
SSI, INC
400 JEAN MARY AVE SPRINGDALE, AR 72762

8000 BATES DR. STE. 81
BELLA VISTA, AR 72714
Tel: (479) 387-5200
Fax: (479) 387-5200
Email: jay@ssi-ar.com



DRAWN BY: CJL
CHECKED BY: JEI
DATE: 8/20/2023
JOB NUMBER: 29-1014
SHEET NAME: COVER SHEET
File No.: 29-1014.dwg
C1.0

NOT FOR CONSTRUCTION



**BOUNDARY & TOPOGRAPHIC SURVEY FOR:
PAM TRANSPORTATION INC.
297 W HENRI DE TONTI BLVD.
TONTITOWN,
WASHINGTON COUNTY, AR. 72770**

NOTES:

- EXCEPT AS SPECIFICALLY STATED OR SHOWN ON THIS PLAN, THIS SURVEY DOES NOT PURPORT TO REFLECT ANY OF THE FOLLOWING WHICH MAY BE APPLICABLE TO THE SUBJECT REAL ESTATE: EASEMENTS, OTHER THAN POSSIBLE EASEMENTS WHICH WERE VISIBLE AT THE TIME OF MAKING OF THIS SURVEY; BUILDING SETBACKS; RESTRICTIVE COVENANTS; SUBDIVISION RESTRICTIONS; ZONING OR OTHER LAND-USE REGULATIONS; AND ANY OTHER FACTS WHICH AN ACCURATE AND CURRENT TITLE COMMITMENT MAY DISCLOSE.
- BASE OF SURVEY: ARKANSAS STATE PLANE COORDINATE SYSTEM 1983, NORTH ZONE (ARKANSAS HIGHWAY TRANSPORTATION DEPARTMENT CONTROL).
- SURVEY REPRESENTS A SURVEY OF A PARCELS: 830-37563-000 & 830-37564-000.
- DECLARATION IS MADE TO ORIGINAL PURCHASER OF THE SURVEY. IT IS NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS.
- THIS SURVEY IS VALID ONLY IF THE DRAWING INCLUDES THE SEAL AND SIGNATURE OF THE SURVEYOR.
- THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION, ATLAS MAPS AS MAY BE AVAILABLE FROM MUNICIPALITIES OR UTILITY COMPANIES, AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION HEREON, ALTHOUGH HE DOES STATE THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.
- EVERY DOCUMENT OF RECORD REVIEWED AND CONSIDERED AS A PART OF THIS SURVEY IS NOTED HEREON. ONLY THE DOCUMENTS NOTED HEREON WERE SUPPLIED TO THE SURVEYOR. NO ABSTRACT OF TITLE OR TITLE COMMITMENT WERE FURNISHED TO THE SURVEYOR. THERE MAY EXIST OTHER DOCUMENTS OF RECORD WHICH WOULD AFFECT THIS PARCEL.
- THE LOCATION AND/OR EXISTENCE OF UTILITY SERVICE LINES TO THE PROPERTY SURVEYED ARE SHOWN HEREON OR UNKNOWN.
- SURVEYOR HAS MADE NO INVESTIGATION OR INDEPENDENT SEARCH FOR EASEMENTS OF RECORD, ENCUMBRANCES, RESTRICTIVE COVENANTS, OWNERSHIP, TITLE EVIDENCE, OR ANY OTHER FACTS WHICH AN ACCURATE AND CURRENT TITLE COMMITMENT MAY DISCLOSE.
- ALL BUILDING, SURFACE AND SUBSURFACE IMPROVEMENTS ON AND ADJACENT TO THE SITE ARE NOT NECESSARILY SHOWN.
- NO INVESTIGATION CONCERNING ENVIRONMENTAL AND SUBSURFACE CONDITIONS, OR THE EXISTENCE OF UNDERGROUND OR OVERHEAD CONTAINERS OR FACILITIES WHICH MAY AFFECT THE USE OF DEVELOPMENT OF THIS PROPERTY WAS MADE AS A PART OF THIS SURVEY.
- BUILDING SETBACKS ARE AS FOLLOWS: C-2 ZONE (NON-RESIDENTIAL)
25 FEET FRONT
10 FEET SIDE (INTERIOR)
25 FEET SIDE (STREET)
25 FEET REAR

BY GRAPHIC SCALING PROVIDED FEMA FLOOD MAP FOR THIS PROPERTY. THIS PROPERTY IS NOT LOCATED IN WITHIN 100 YEAR FLOOD ZONE AS ESTABLISHED BY THE FLOOD INSURANCE RATE MAP FOR THE COUNTY PANEL NUMBER 01300000P. MAP EFFECTIVE DATE: 6/22/2008.

NOTES AND OTHER INFORMATION PER PER DOCS # DR2-211, DR2-211, 96-88775, 93-82882, M455, L-47, 98-3561, J-204, J-435, -425, J-430, 2010- 3174, 08B 926876, 93-1091, 2010-0221.

AS SURVEYED DESCRIPTION:

A PART OF THE NE1/4 OF THE SW1/4 OF SECTION 17, TOWNSHIP 17 NORTH, RANGE 31 WEST, CITY OF TONTITOWN, WASHINGTON COUNTY, ARKANSAS, BEING FURTHER DESCRIBED AS FOLLOWS:
COMMENCING AT A FOUND IRON PIN AT THE SE CORNER OF THE SAID NE1/4 OF THE SW1/4 FOLLOWING THE SOUTH LINE OF THE SAID NE1/4 OF THE SW1/4 TO THE POINT OF BEGINNING; THENCE CONTINUING ALONG SAID SOUTH LINE N42°23'14"W 75.44 FEET TO A FOUND IRON PIN AT THE SW CORNER OF THE SAID NE1/4 OF THE SW1/4; THENCE DEPARTING SAID SOUTH LINE THENCE N03°10'47"E 64.55 FEET; THENCE S88°59'57"E 702.47 FEET; THENCE S02°33'08"W 25.00 FEET; THENCE S02°33'08"W 25.00 FEET; THENCE S02°33'08"W 25.00 FEET TO THE POINT OF BEGINNING, CONTAINING 47.381 SQUARE FEET OR 1.06 ACRES, MORE OR LESS, SUBJECT TO ANY EASEMENTS, RIGHT-OF-WAY, COVENANTS OR RESTRICTIONS OF RECORD OR FACT.

GRID N: 877060.474
GRID E: 63271.057
CONV: -118'05.738"
SCALE FACTOR: 0.9999886

POC
08/12/22
SE COR. N/2-SW/4
SEC. 17-17-N, R-31-W
STAR # PLAT: 20211003270
PLAT: PAUL DAVIS DR2-211

I, MICHAEL D. MILLION, HEREBY CERTIFY THAT THIS PLAN CORRECTLY REPRESENTS A BOUNDARY SURVEY MADE BY ME OR UNDER MY SUPERVISION, AND ALL INSTRUMENTS SHOWN HEREON ACTUALLY EXIST AND THEIR LOCATION, TYPE AND MATERIAL ARE SHOWN CORRECTLY.
Michael D. Million 4/28/23
MICHAEL D. MILLION (PLS 157) DATE



FILE STAMP

LEGEND:

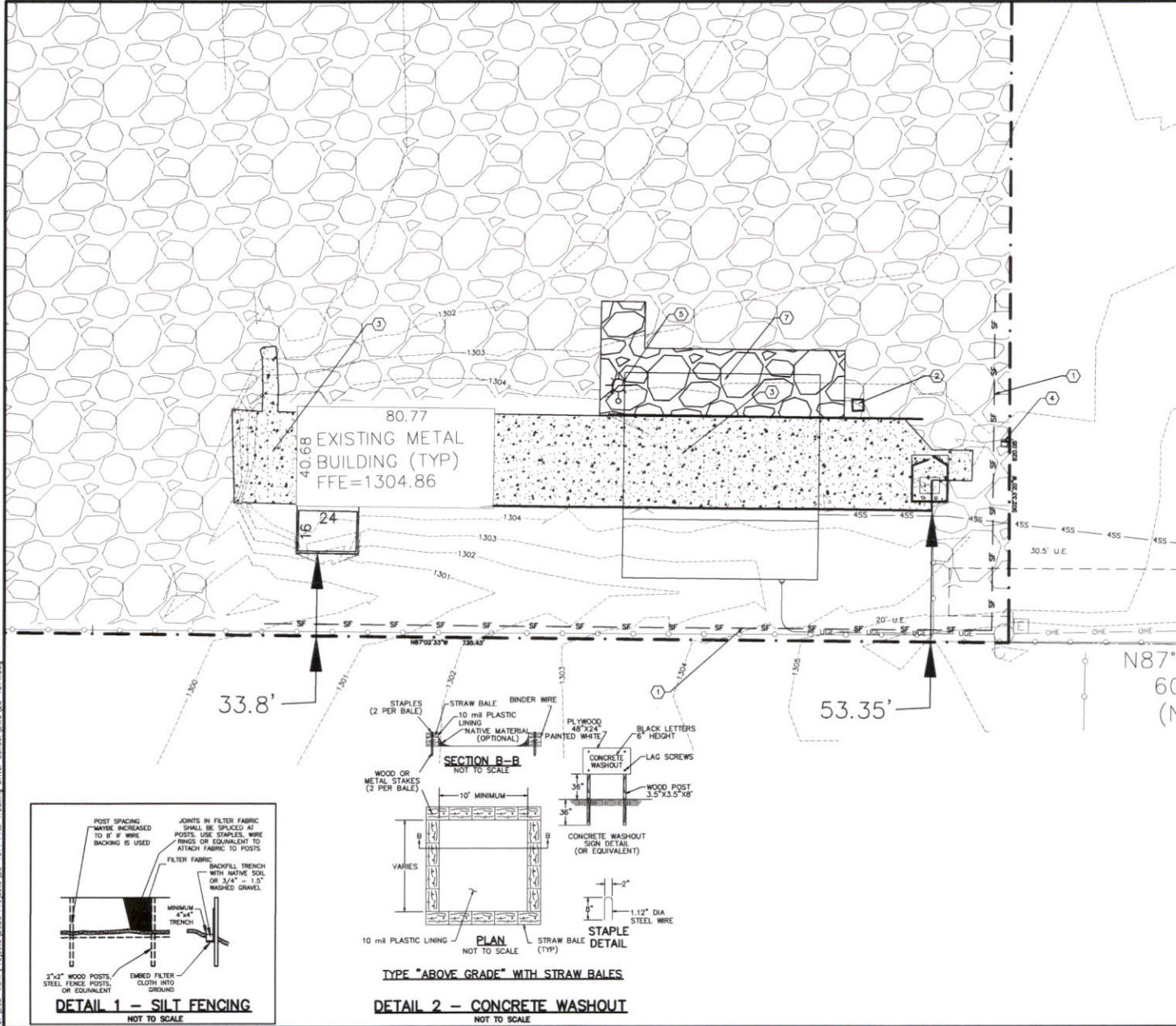
	BOUNDARY LINE
	CENTERLINE
	EASEMENT LINE
	STORM DRAIN
	GAS LINE
	OVERHEAD ELECTRIC
	UNDERGROUND ELECTRIC
	UNDERGROUND TELEPHONE
	FIBER-OPTIC LINE
	SEWER LINE
	WATER LINE
	CHAINLINK FENCE
	WIRE FENCE
	WOOD FENCE
	IRON PIN FOUND
	ALUMINUM MONUMENT
	BENCHMARK
	UTILITY POLE
	UTILITY POLE W/LIGHT
	LIGHT POLE (1 LIGHT)
	LIGHT POLE (2 LIGHT)
	LIGHT POLE (3 LIGHT)
	LIGHT POLE (4 LIGHT)
	GUY WIRE
	SERVICE POLE
	TRAFFIC SIGNAL
	TRAFFIC SIGNAL RISER
	AIR CONDITIONING UNIT
	ELECTRIC RISER
	ELECTRIC VAULT
	GAS METER
	GAS VALVE
	GAS RISER
	GAS VAULT
	TELEPHONE MANHOLE
	TELEPHONE RISER
	TELEPHONE VAULT
	SANITARY CLEANOUT
	SANITARY SEWER MANHOLE
	WATER METER
	FIRE HYDRANT
	WATER RISER
	DRAINAGE MANHOLE/STRUCTURE
	GRADED INLET
	SIGN
	MAILBOX

DATE OF LAST REVISION: 7-11-23

MICHAEL D. MILLION
LAND SURVEYOR
12 NEFFWOOD LANE
BELLA VISTA, AR 72715
PHONE: (479) 571-0654

BELL CONSTRUCTION SOLUTIONS
P.O. BOX 8
CAVE SPRINGS, AR 72718
CHUCK BELL: (479) 366-0640
chuck.bell@bellconstruction.com

DRAWN BY: CEB SCALE: 1" = 50'
FIELD CREW: STEVE DATE: APRIL 18, 2023
CHECKED BY: MDW DWG: 2338.01



Rev	Comments	Date
1	PER CITY COMMENTS	7/11/2023

PAM TRUCKING SCHOOL
 942 HENRI DE TONTI BLVD
 TONTITOWN, ARKANSAS
 SSI, INC
 400 JEAN MARY AVE SPRINGDALE, AR 72762

LEGEND

- FOUND IRON PIN
- PROPERTY LINE
- PROPOSED SIDEWALK
- PROPOSED GRAVEL
- PROPOSED SETBACK
- PROPOSED EASEMENT
- PROPOSED 8" WATER
- PROPOSED 8" SEWER
- TEMPORARY STRAW WATTLE
- EXISTING GRAVEL
- REMOVE EXISTING CONCRETE
- EXISTING FENCE
- SWPPP MAILBOX

EROSION AND SEDIMENT CONTROL NOTES:

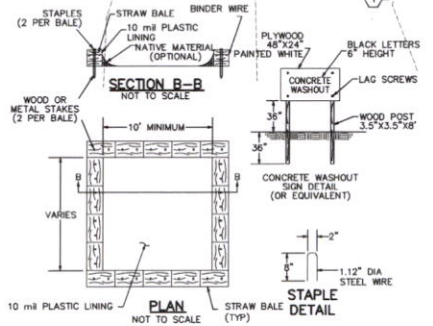
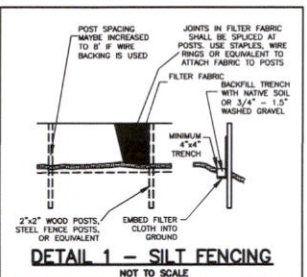
- INSTALL EROSION AND SEDIMENT CONTROL MEASURES AND CONSTRUCTION ENTRANCES AT LOCATIONS AS INDICATED ON PLANS PRIOR TO EARTHWORK.
- ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE LOCATED AND MAINTAINED SUCH THAT THE LOCATION DOES NOT INTERFERE WITH CONSTRUCTION ACTIVITIES.
- REFER TO THE CONSTRUCTION STORMWATER POLLUTION PREVENTION PLAN (SWPPP) REPORT FOR IMPLEMENTATION, INSTALLATION, AND/OR APPLICATION REQUIREMENTS AND SEQUENCES.
- CURB INLET SEDIMENT CONTROL SHALL BE PLACED AND MAINTAINED AT EACH INLET.
- INSTRUCTION/DIRECTION OF THE INSPECTOR SHALL PREVAIL OVER THE CONSTRUCTION SWPPP PLAN.

MAINTENANCE AND OPERATION NOTES:

- AN INSPECTION SHALL BE MADE BY DEVELOPER OR ASSIGNED REPRESENTATIVE (INSPECTOR) WITHIN 24 HOURS OF A RAINFALL EVENT PER ADEQ REQUIREMENTS. ALL OBSERVED DEFICIENCIES IN BEST MANAGEMENT PRACTICES (BMP's) WILL BE RECORDED.
- SEDIMENT SHALL BE REMOVED BEHIND SILT FENCING ONCE SEDIMENT REACHES 1/3 THE HEIGHT OF THE SILT FENCE.

KEYNOTES:

- PROPOSED TEMPORARY SILT FENCE. SEE DETAIL 1/C3.0
- TEMPORARY CONCRETE WASHOUT. SEE DETAIL 2/C3.0
- REMOVE EXISTING CONCRETE AND DISPOSE OF OFF-SITE
- SWPPP TO BE LOCATED IN MAILBOX ON SITE.
- REMOVE EXISTING LIGHT POLE AND DISPOSE OF OFF-SITE
- REMOVE EXISTING BUILDING AND DISPOSE OF OFF-SITE
- REMOVE EXISTING GRAVEL AND DISPOSE OF OFF-SITE



TYPE "ABOVE GRADE" WITH STRAW BALES

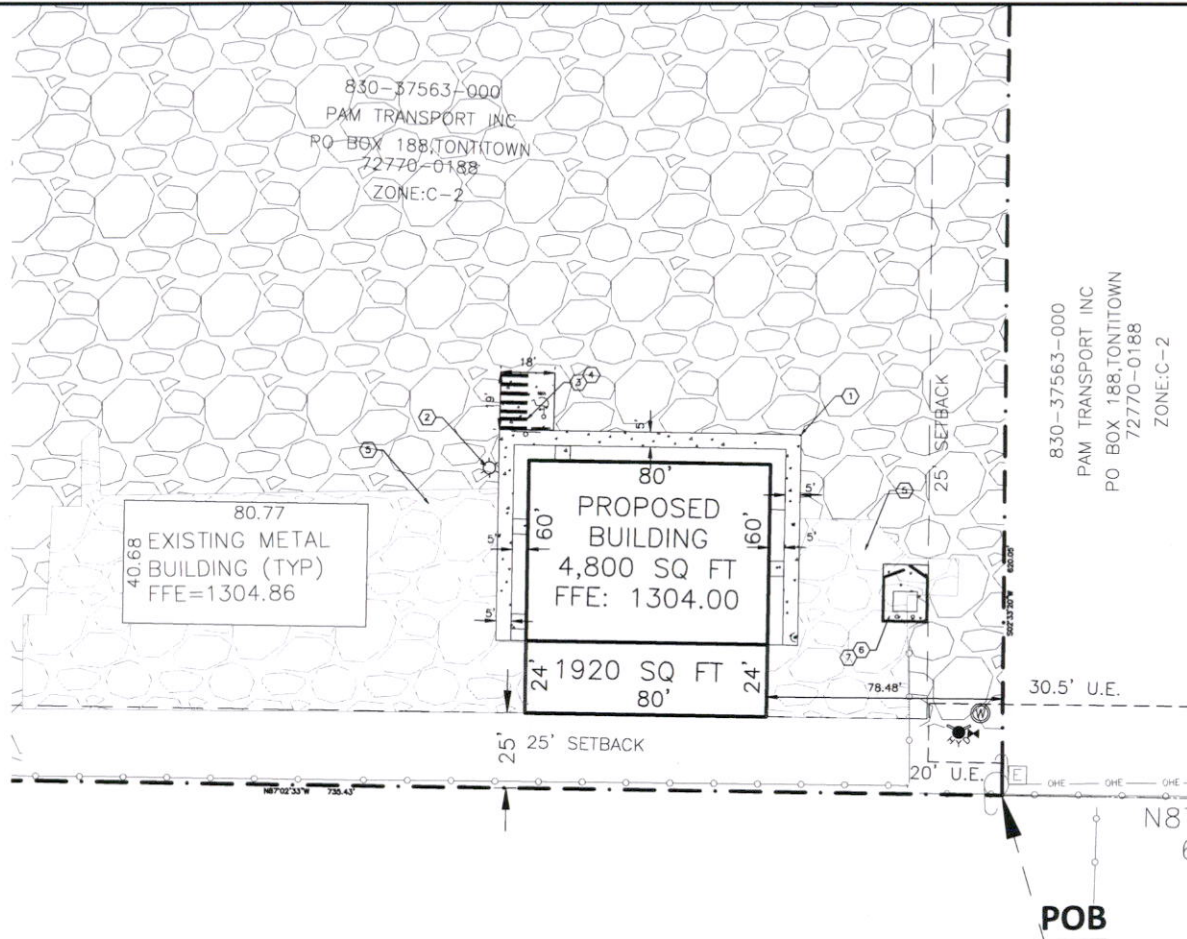
DETAIL 2 - CONCRETE WASHOUT



Know what's below. Call before you dig.

DRAWN BY:	CJE
CHECKED BY:	JEI
DATE:	6/29/2023
JOB NUMBER:	23-1014
SHEET NAME:	DEMOLITION AND STORMWATER POLLUTION PREVENTION PLAN
File No.:	23-1014.dwg
	C3.0

Z:\CE - Work\Projects\2023\Projects\23-1014_PAM_Trucking_Driver_School\DWG\23-1014.dwg



BASIS OF BEARING
THIS PLAT REPRESENTS A FIELD SURVEY OF A BOUNDARY SURVEY.



NORTH
20' 0 20'
SCALE 1"=20'

LEGEND



- FOUND IRON PIN
- PROPERTY LINE
- PROPOSED SIDEWALK
- PROPOSED GRAVEL
- PROPOSED SETBACK
- PROPOSED EASEMENT
- PROPOSED 8" WATER
- PROPOSED 8" SEWER
- EXISTING GRAVEL
- EXISTING FENCE
- PROPOSED LIGHT
- PROPOSED FIRE HYDRANT
- PROPOSED GATE VALVE
- EXISTING SEWER MAN-HOLE
- PROPOSED SEWER CLEANOUT
- CONCRETE WHEEL STOP

TOTAL AREAS OF DEVELOPMENT:

GROSS AREA: 49,961 SF
IMPERVIOUS AREA: 20,123 SF
PERVIOUS AREA: 29,838 SF
% PERVIOUS: 59.7%

SETBACK:

FRONT SETBACK: 25'
(NON-RESIDENTIAL)SIDE SETBACK: 10'
(NON-RESIDENTIAL)STREET SIDE: 25'
(NON-RESIDENTIAL)REAR SETBACK: 25'

NOT FOR CONSTRUCTION



Date	Comments
7/11/2023	PER CITY COMMENTS

PAM TRUCKING SCHOOL
942 HENRI DE TONTI BLVD
TONTTOWN, ARKANSAS
SSI, INC
400 JEAN MARY AVE SPRINGDALE, AR 72762

15000 STATE ST. STE. 113
BELLA VISTA, AR 72714
D: (479) 342-2824
F: (479) 342-2824
EMAIL: jacob@ssibook.com



DRAWN BY	CJL
CHECKED BY	JEI
DATE	6/02/2023
JOB NUMBER	23-1014
SHEET NAME	SITE PLAN



Folio No.	23-1014-005
C4.0	

GENERAL NOTES:

THE OWNER/DEVELOPER SHALL BE RESPONSIBLE FOR THE COST OF ANY REQUIRED ADJUSTMENTS TO THE EXISTING WATER AND SEWER FACILITIES DUE TO SITE GRADING, PAVING, LOT LINE ADJUSTMENTS, OR OTHER MATTERS.

STOCKPILING OF CONSTRUCTION SPOIL MATERIAL AT PARTICULAR LOCATIONS SHALL ONLY BE ALLOWED FOR A LIMITED TIME PERIOD, NOT TO EXCEED (6) MONTHS, PRIOR TO A FINAL INSPECTION OF THE GRADING PERMIT. THE FOLLOWING STANDARDS SHALL BE ACHIEVED FOR COMPLETION OF CONSTRUCTION:

- A) DEVELOPMENT AND GRADING WITHIN THE DISTURBED AREA IS COMPLETE AND MATCHES PLANS AS APPROVED BY THE PLANNING COMMISSION, AND
- B) THE DISTURBED SOIL AREA IS OBSERVED TO HAVE 80% GRASS COVERAGE AND 100% STABILITY, AND
- C) NO SLOPES STEEPER THAN 3:1 PITCH UNLESS OTHERWISE APPROVED IN WRITING BY THE DIRECTOR OF ENGINEERING, AND
- D) NOTICE OF VIOLATIONS ISSUED HAVE ALL CORRECTIVE ACTIONS APPROVED WITH AN INSPECTION REPORT SIGNED BY A REPRESENTATIVE OF THE DIRECTOR OF ENGINEERING, AND
- E) ALL HEAVY EQUIPMENT, STOCKPILES, AND CONSTRUCTION SITE MATERIALS HAVE ALL BEEN REMOVED FROM THE CONSTRUCTION SITE.
- F) TO OUR KNOWLEDGE, WETLANDS ARE NOT SHOWN ON THE USFWS WETLANDS INVENTORY MAPPER.
- G) THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTROL OF DUST AND DIRT RISING AND SCATTERING IN THE AIR DURING CONSTRUCTION AND SHALL PROVIDE WATER SPRINKLING OR OTHER SUITABLE METHODS OF CONTROL. THE CONTRACTOR SHALL COMPLY WITH ALL GOVERNING REGULATIONS PERTAINING TO ENVIRONMENTAL PROTECTION. THERE WILL BE ZERO TOLERANCE FOR NONCOMPLIANCE PER TONTTOWN ENGINEERING DEPARTMENT.

KEYNOTES:

- ① PROPOSED SIDEWALK. SEE DETAIL 3/C7.0
- ② PROPOSED PARKING LOT LIGHTING.
- ③ WHEEL STOP. SEE DETAIL 4/C7.0
- ④ ADA ACCESSIBLE PARKING AND STRIPING. SEE DETAIL 5/C7.0
- ⑤ PROPOSED GRAVEL. SEE DETAIL 6/C7.0
- ⑥ TRASH ENCLOSURE. SEE ARCHITECT PLANS.
- ⑦ HEAVY CONCRETE SECTION SEE DETAIL 7/C7.0

FLOOD STATEMENT:

THE PROPERTY SHOWN HEREON LIES WITHIN FLOOD ZONE "X" AS SHOWN ON FEMA FLOOD INSURANCE RATE MAP NUMBER 65143C0605F WITH AN EFFECTIVE DATE OF 4-2-2008. AREAS DETERMINED TO BE OUTSIDE THE 500 YEAR FLOOD PLAIN.

VARIANCE REQUEST:

OFF-STREET PARKING 153.210(A)(4)(A)
ON-SITE, EXCEPT AS OTHERWISE SPECIFICALLY PROVIDED, REQUIRED OFF-STREET PARKING AND LOADING SPACES SHALL BE LOCATED ON THE SAME LOT AS THE PRINCIPAL USE.

REASON:

STUDENTS AND STAFF WILL PARK AT THE CORPORATE OFFICE AND BE ESCORTED TO THE CLASSROOM BY GOLF CART OR OTHER SMALL SITE VEHICLE. DUE TO THE AMOUNT OF SEMI TRUCKS PARKED FOR SERVICING, STACKING 20-30 PERSONAL VEHICLES WOULD INTERFERE WITH THEIR INGRESS/EGRESS AND SERVE AS A DETRIMENT TO THE MECHANIC'S DAY-TO-DAY OPERATIONS.

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